



PLANNING COMMISSION MEETING

7:00 PM

March 12, 2026

Planning Commission meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Commissioners eliminating lengthy discussions to gain a basic understanding. Timely action and short discussion on agenda items does not reflect lack of thought or analysis on the part of the Planning Commission.

Public comment on agenda items may only be made in person.

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PLEASE NOTE: Public participation is NOT available through YouTube.

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **ADDITIONS TO OR DELETIONS FROM THE AGENDA**
5. **APPROVAL OF MINUTES**
 - A. **Planning Commission Meeting Minutes - 2.12.26**
6. **CONSENT AGENDA**
7. **PUBLIC HEARINGS**
 - A. **Compark Village Planned Development Amendment No. 8 - Zoning**
 - A. **Applicant: Larry Jacobson, Westside Investments**
 - Location: Generally located north and south of E-470 and west of Chambers Road**
 - Department: Community Development, Stacey Nerger**
 - TRAKiT Z25-001**
 - No.:**

8. **PLANNING COMMISSION ITEMS**

9. **STAFF ITEMS**

10. **ADJOURNMENT**



**PLANNING COMMISSION MINUTES
February 12, 2026**

Planning Commission Chair, Gary Poole, called the meeting to order at 7:00 p.m.

The Planning Commission and audience joined in saying the Pledge of Allegiance.

Also, present and seated were Commissioners Jenny Wahlrobe, Erik Rieger, Ruth Ann Nelson, Angela Lindstrom, Bret Tueller, and Nick Metz.

ADDITIONS TO OR DELETIONS FROM THE AGENDA

None.

APPROVAL OF MINUTES

Commissioner Ruth Ann Nelson moved to approve January 22, 2025, meeting minutes. Commissioner Erik Rieger seconded; a vote was taken and the motion passed unanimously.

PUBLIC HEARING OPENED: 7:01 P.M. – HARDING HEIGHTS FILING NO. 1, LOT 2 – TAKE 5 OIL CHANGE – USE BY SPECIAL REVIEW

Applicant: Claycon Oil West, LLC
Location: Southwest of the intersection of Parker Road and Longs Way
Department: Community Development, Elizabeth Steward
TRAKiT No: Z25-012

STAFF PRESENTATION

Elizabeth Steward, Associate Planner, presented the staff report regarding a Use by Special Review for Take 5 Oil Change, which is a drive-up only oil change facility where customers do not exit their automobiles. Ms. Steward concluded with the determinations in the staff report that the Planning Commission recommend Town Council deny the Take 5 Oil Change Use by Special Review as the request does not meet the approval criteria.

COMMISSIONER DISCUSSION WITH STAFF

- Commissioner Ruth Ann Nelson asked staff to elucidate on the phrase used in the presentation which was *no coordinated redevelopment*; (Staff said *QuikTrip Corporation rezoned and created 3 (three) developable lots in the Harding Heights*

Subdivision. QuikTrip added access to Parker Road and infrastructure. So, it was a coordinated development effort of these three lots).

- Commissioner Ruth Ann Nelson also asked how this use does not support the Use by Special Review criteria; *(Staff replied that it is due to the auto-oriented usage. The Master Plan and the Parker Road Corridor Plan emphasize this area as pedestrian friendly. The infrastructure is in place for sidewalks and for a potential use that supports pedestrian friendly activity, but the use requested for the Use by Special Review does not utilize the pedestrian infrastructure. Therefore, it does not align with the Parker Master Plan or the Parker Road Corridor Plan.*
- Commissioner Ruth Ann Nelson asked if there are sidewalks that go from Longs Way to Mainstreet. She does not recall sidewalks in front of the Parker Cemetery on Parker Rd; *(Staff responded that the sidewalk does go from Longs Way down to Mainstreet).*
- Commissioner Erik Rieger asked that since this type of auto-oriented service entails people staying in their cars for service, would a more traditional auto-oriented service, where people not get out of their cars, change the status; *(Staff said that the Take 5 business model was discussed since customers do not get out of their cars. There is the incompatibility with the pedestrian infrastructure. If they did have a waiting room it would be re-evaluated, but overall, the auto-oriented use would still be against the redevelopment efforts to relocate these uses to the light industrial zone and off of Parker Road).*
- Commissioner Ruth Ann Nelson stated that currently, on 3 (three) of the 4 (four) corners at Parker Road and Longs Way, there are a gas station, auto parts store, used car sales lot, another gas station and Twisters on the northwest corner. Is part of the vision that eventually there will not be as much auto uses there and eventually it will be redeveloped; *(Staff responded that the Parker Road Corridor Plan was adopted in 2019 with that goal in mind. This is one of the first cases that we have seen on the Parker Road Corridor for a coordinated rehabilitation effort that could hopefully send those auto-oriented uses away from Parker Road. The goal with the Parker Road Corridor Plan is to see less of the auto-oriented uses that existed before the Parker Road Corridor Plan was established).*
- Commissioner Ruth Ann Nelson asked that given that information, why did Staff recommend the QuikTrip when that is an auto-oriented use; *(Staff replied that the QuikTrip property had a series of issues. It had no vehicular access, limited pedestrian connectivity, a zoning issue and a platting issue. When QuikTrip came in they fixed all of that. And they built a lot of pedestrian infrastructure and made significant improvements to the site. It also has a retail component. The combination of improvements is why the Town supported it).*
- Commissioner Bret Tueller asked if it is just the business model that we are not liking? When customers stay in their cars; *(Staff said it is the auto-oriented use. It is not just the business model of not getting out of the car. This use is not part of the Parker Road Corridor Plan. The Town is trying to recreate Parker Road as a place that people want to visit and stop and not just drive through. It does not fit the Parker Road Corridor Plan or the Master Plan).*
- Commissioner Bret Tueller stated that he thinks part of the confusion is that a gas station doesn't seem to be that much different. Usually if it's something that Staff is

not recommending it is because it is too tall. There is something quantifiable and this seems to just not have the vibe; *(Staff said QuikTrip included the commercial retail component. QuikTrip acquired three different properties, built the infrastructure, and raised the property up. Also, they created outdoor seating and people can order food and sit outside to eat. We are trying to create a place that pedestrians could enjoy instead of drive in and drive out).*

APPLICANT PRESENTATION

Jim Gamble, Claycon Development, provided the applicant's presentation.

- The applicant shared several slides of the proposed Take 5 Oil Change and described the business model.

COMMISSIONER DISCUSSION WITH APPLICANT

- Commissioner Ruth Ann Nelson asked if Claycon is the same developer as the Take 5 Oil Change on the north end of Parker Road; *(The applicant said they are not the same developer).*
- Commissioner Bret Tueller thanked Mr. Gamble for how Claycon treated staff even though they disagreed.
- Commissioner Ruth Ann Nelson said that Take 5 will put in bike racks and benches and your business model does not have customers get out of the car. She asked who they anticipate will use these? Will it be just for employees on breaks; *(The applicant said yes, for employees essentially. Potentially some people from QuikTrip. He brought up that even if there was a waiting room why would they leave the waiting room to meander out? There is no destination other than QuikTrip).*
- Commissioner Jenny Wahlrobe asked how long the oil change process is; *(The applicant said the process takes approximately 9.2 minutes).*

COMMISSIONER DISCUSSION WITH STAFF

- Commissioner Ruth Ann Nelson stated that the other automotive uses on that same corner as QuikTrip, since QuikTrip is a destination for food and drink for some people, how do you anticipate those uses being redone? And how do people on the east side of Parker Road, walking up Longs Way, who want to go to QuikTrip or Twisters or any other destination, get across Parker Road? There really is no way for someone on the east side of Parker Road to access those businesses other than by car. So, in a multimodal sense, is there a way to overcome that? That would support denying this application; *(Staff said that today the 2 (two) crossing points are Mainstreet and Kieffer's Crossing. With Parker Road Corridor Plan there are conversations about changes to Parker Road and Mainstreet intersection. The Town is currently in the process of doing conceptual*

plans for what the intersection may look like in the future. We are not sure what that will do to the ability to cross, but pedestrian connections are a big component of it).

- Commissioner Ruth Ann Nelson asked if we had a response to the idea that this particular site is not as conducive to finding a use that would be better than a Take 5; *(Staff said that is they are unsure of current market conditions, but the zoning allows for a variety of uses. There are multiple uses that could go there if the market supports them. Staff also said there is the possibility of redeveloping the property. There are also users that are going smaller and vertical. The zoning could allow a building to go 45' in height).*
- Commissioner Gary Poole asked if since QuikTrip owns the land can they impose covenants; *(Staff said they are not familiar with the covenants imposed. The applicant can speak to that).*

PUBLIC COMMENT

Ryan Harding, QuikTrip Corporation.

- He said he is here in support of Take 5. The reason they chose this location for QuikTrip is because of the auto-oriented use aspect of it. He said about 90 to 95% of their business is from automobile traffic and because Parker Road is a major thoroughfare. QuikTrip sees Take 5 as very compatible with their business. He said there are certain deed restrictions that they place on their properties. They do not want to sell to a competing use. They want to make sure their neighbor is a business that is conducive to QuikTrip. He does not believe there are many businesses that could go on a .50 acre parcel. He said maybe a coffee stand, but they do deed restrict coffee businesses. He doesn't feel a restaurant could go there because there wouldn't be enough parking. He said they have a very large investment in this property between the development, utilities and infrastructure.

COMMISSIONER DISCUSSION WITH STAFF

- Commissioner Ruth Ann Nelson asked to see the image of the Parker Road Corridor Plan. She asked if the Take 5 property was at the end of the Parker Road Corridor Plan and if the area directly south of that is the Mainstreet Master Plan area; *(Staff replied that it is in the central sub-area and north of that is the Mainstreet Master Plan area).*
- Commissioner Ruth Ann Nelson also asked if the cemetery is in the Central Commercial zoning area; *(Staff replied, yes).*

PUBLIC HEARING CLOSED: 7:40 P.M. – HARDING HEIGHTS FILING NO. 1, LOT 2 – TAKE 5 OIL CHANGE – USE BY SPECIAL REVIEW

COMMISSIONER DISCUSSION

- Commissioner Ruth Ann Nelson understands what Staff is presenting. Take 5 is not something that will draw pedestrians up from Mainstreet. However, the only time she has seen anyone walk past the cemetery is on Memorial Day when crowds go there for services. She sees that property laying empty and unused for a very long time if we deny this application. She thinks that putting that use there is better than not having a use there at all. With the deed restriction, there cannot be any coffee shops, and can't have a restaurant. Maybe an office building that people don't walk to or a retail shop. She understands we are trying to change the overall Corridor look and if we allow the Take 5 now, it will be there for 20-30 years before it will be ready for redevelopment. She is just not convinced.
- Commissioner Angela Lindstrom agrees with her fellow Commissioner. She does not want the parcel to sit vacant. She understands the Town's vision for the area to be walkable, and she would like to see that too.
- Commissioner Erik Rieger said that what is difficult is that there are already many automotive uses in that area. He understands the desire to change the landscape along the corridor and to make it more walkable, but as it stands today and for the near future with the QuikTrip there, he does not envision something else being there and in harmony with what currently exists there.
- Commissioner Nick Metz agrees with Erik Rieger. He is in favor of the Parker Road Corridor Plan with the walkability, retail and fun stuff that will draw people to more of a destination. Given the size of the lot and the limitations of what could be built there, including the covenants. He does think the Take 5 compliments what is already there, QuikTrip. He said that is what Use by Special Review is for. This is one special tiny parcel. He is not sure he would have the same thought process for a larger parcel that had more versatility in that same Corridor. But for that little parcel he is in support of it.
- Commissioner Bret Tueller said what is making it so hard is the respect the Commission has for Staff. He is in agreement with fellow Commissioners, and he doesn't see where the conflict is other than subjective of just preference at this point. He is in favor of Take 5.
- Commissioner Jenny Wahlroble is also in agreement with everything fellow Commissioners said, but she also loves walkability and biking. She is also thinking about the economic engine with QuikTrip. If people go to Take 5 and do not want to wait in a waiting room, then they will go to QuikTrip. She also thinks that people using Take 5 will see the gift shop next door and might stop there.
- Commissioner Gary Poole said that he has been an advocate, for as long as he has been on Planning Commission, to try to redevelop and change Parker Road. Staff sold him quite a long time ago because there are parts of Parker Road that should be redeveloped. And if Parker Road is people's first picture of our Town and not say anything about QuikTrip or Take 5. They are far more attractive than some of these other shacks that

are up and down Parker Road. But we are just kicking the can down the road and saying, well, next time. It could be 20 or 30 years before next time. But none of us will be around. We make a plan and then we say we aren't going to do it this time, but we give in next time. He doesn't know what could go in there with the restrictive covenants. He said he can see that Elizabeth made the very clear delineation of the Master Plan and how it fits. He is also struggling with fellow Commissioners. He doesn't doubt that the Take 5 will look very nice.

- Commissioner Ruth Ann Nelson asked a question about alternative motions. The first of the alternative motions has a condition on in. Can you explain what the condition is; *(Staff said that is the approval for the Use by Special Review motion. The Use by Special Review motions always have a condition,. so, you would be recommending approval of the materials submitted, which is what was presented to you tonight).*
- Commissioner Gary Poole believes that what he is hearing from fellow Commissioners is that they are leaning toward the alternative motion to kick the can down the road, at least as far as the Town Council.
- Commissioner Ruth Ann Nelson said that she believes if they make a motion then they can also have another period of discussion. Is that correct?
- Commissioner Gary Poole said that is correct.

Commissioner Ruth Ann Nelson moved the Planning Commission recommend Town Council approve the Take 5 Oil Change Use by Special Review subject to the following conditions:

- They use the Use by Special Review materials submitted to the Community Development Department on August 25, 2025, shall be the approved Use by Special Review materials.

COMMISSIONER DISCUSSION

- Commissioner Ruth Ann Nelson said that one of the concerns about this motion is that it's kicking the can down the road in terms of development. She thinks we need to recall all the progress made on development moving from Mountain Man Warehouse, sunk down way below grade, and the difficulty getting in and out of that parcel, to having something more accessible. She also thinks it is going to be more accessible to the light industrial uses to the west. Those uses can utilize Take 5. There is very little cross traffic that is going to impede or put pedestrians and bikes in danger if they are using the sidewalk for multimodal transportation. Just one of the reasons why she thinks it works. The new development will dress it up and it will make the east side of the street look horrific in comparison and that's where we start to get movement on fixing that. She said it is not the ideal solution. She is in favor of it.

Commissioner Erik Rieger seconded the motion. A vote was taken. Nick Metz, Bret Tueller, Angela Lindstrom, Ruth Ann Nelson, Erik Rieger and Jenny Wahlrobe voted in favor and Commissioner Gary Poole voted against. The motion passed 6 votes to 1.

STAFF ITEMS

Bryce Matthews wanted to congratulate Elizabeth Steward on her first Planning Commission presentation. He also introduced a new staff member, Cassidy Beaupre. He mentioned a new project in coordination with Douglas County which is Link on Demand microtransit. Link on Demand currently serves Lone Tree and Highlands Ranch and will expand east to serve portions of Parker. More to come. Link on Demand is looking at a spring start.

ADJOURNMENT

Commissioner Erik Rieger moved that the meeting be adjourned. Commissioner Ruth Ann Nelson seconded the motion; a vote was taken and the motion passed unanimously. The meeting was adjourned.

Jennifer Malley
Recording Secretary

Gary Poole
Chairman – Planning Commission



Planning Commission Staff Report

Planning Commission Date: 3/12/2026

Town Council Date: 3/23/2026

Hearing Type: Public Hearing
Compark Village Planned Development Amendment
No. 8
TRAKiT No: Z25-001

Location: The site is located south of E-470 and west of Chambers Road.

Project Planner: Stacey Nerger, Senior Planner

Applicant: Larry Jacobson, Westside Investment Partners

Executive Summary: The applicant, Westside Investments, is proposing an amendment to the Compark Planned Development (PD) zoning to amend the planning areas to the south of E-470 and north of Belford Avenue.

Staff Recommendation: Approval

RECOMMENDED MOTION

“I move the Planning Commission recommend Town Council approve the Compark Village Planned Development 8th Amendment Rezoning.”

ALTERNATIVE MOTIONS

Approval with Conditions

“I move the Planning Commission recommend Town Council approve the Compark Village Planned Development 8th Amendment Rezoning request, subject to the following conditions:”

-List proposed conditions

Denial

“I move the Planning Commission recommend Town Council deny the Compark Village Planned Development 8th Amendment Rezoning request does not meet the following approval criteria:”

-List criteria not met (either by staff or Planning Commission)

Continue

“I move the Planning Commission vote to continue the Compark Village Planned Development 8th Amendment Rezoning to a future date.”

I. BACKGROUND/DISCUSSION

The Compark Village Planned Development (PD) is an approximately 390 acres mixed-use development located on both sides of E-470 and west of Chambers Road. The majority of the Planned Development was annexed and zoned into the Town of Parker in 2007. In 2015, an additional 150 acres south of E-470 was annexed into the Town and zoned part of Compark Village Planned Development. These 150 acres are known as Compark Village South. Several additions and amendments have taken place between 2007 and today.

The 35.2 acre area, subject to the current Planned Development Amendment, is located within the Compark Village South area and is bordered to the north by E-470; to the south by Belford Avenue and Mixed Residential (Single-Family Detached, Duplex and Multi-Family); to the west by vacant land within Unincorporated Douglas County and to the east by Happy Canyon Creek and vacant commercial land within the Chambers High Point Planned Development.

The rezoning is proposing to change the land use designations as follows:

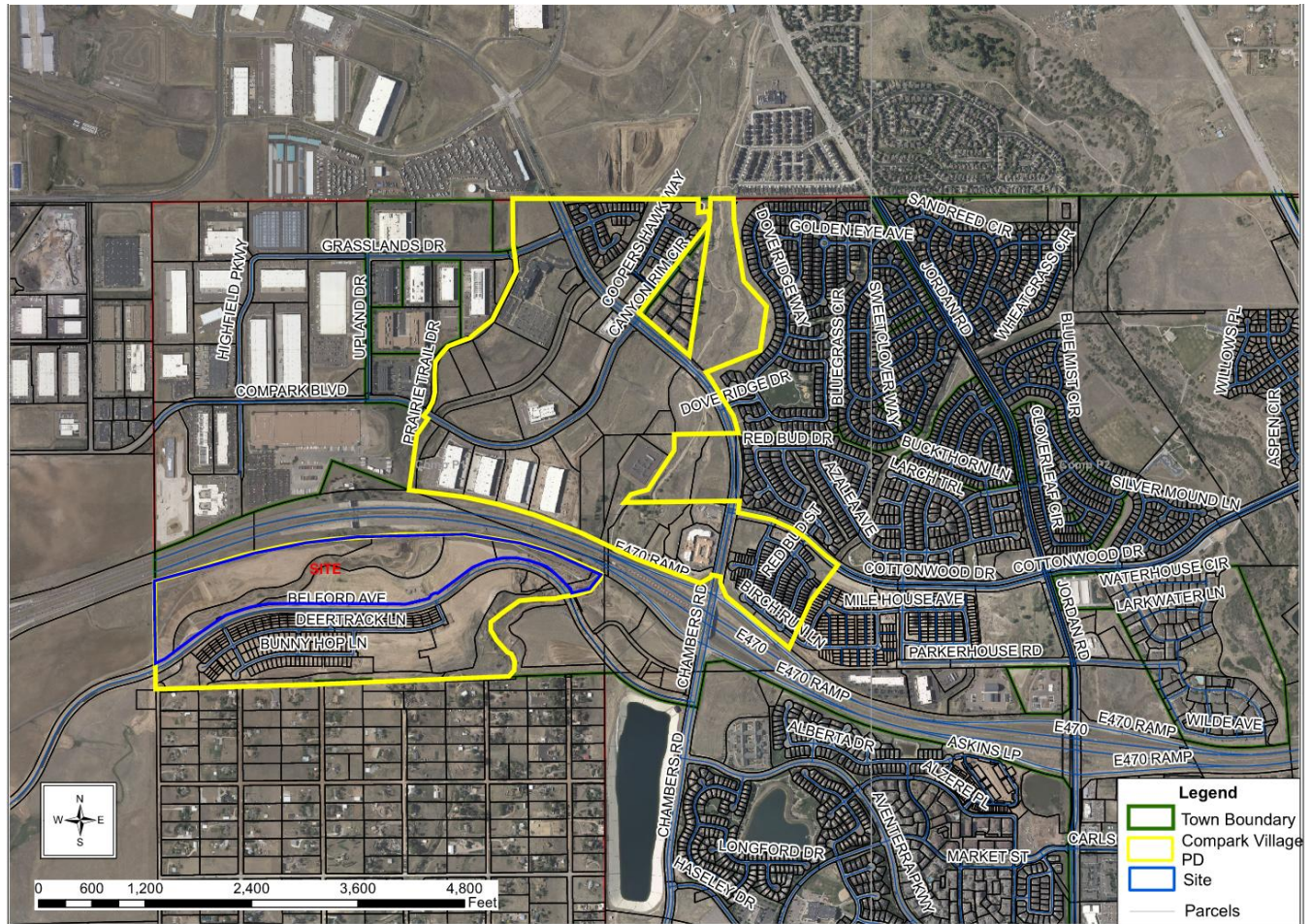
- Planning Area 13 (far west) is proposed to be changed from a Mixed-Use Designation to a Light Industrial Flex Designation. In addition, the Planning Area is proposed to decrease in size from 26.4 acres to 22.7 acres.
- Planning Area 14 (middle) is proposed to be changed from a Neighborhood Commercial designation to an Office Employment designation. This Planning Area is proposed to be increased from 9.07 acres to 12.8 acres in size.
- Planning Area 15 (far east) is proposed to go from a Mixed-Use designation to a Neighborhood Commercial designation. This Planning Area is proposed to be decreased in size from 9.86 acres to 6.4 acres.
- The Open Space area between Planning Areas 13 and 14 which contains the Green Acres Tributary is proposed to be increased from 9.33 acres to 16.7 acres.

The overall land use modifications are proposed to change from primarily commercial retail uses allowed on the property to a mix of commercial, office and light industrial. The applicant has set up the rezoning to locate the commercial retail component adjacent to the commercial zoning within Chambers High Point Planned Development along the east side of the development. The land uses are then proposed to transition to office employment uses then to light industrial proceeding east to west.

The light industrial proposed uses are strategically located to be north of Green Acres Tributary and on the far west side of the development. Due to the location of the Green Acres Tributary, this Planning Area has only a small area that touches Belford Avenue across the street from the residential to the south. Green Acres Tributary provides as an additional buffer to Belford Avenue and the residential to the south. In addition, as part of the PD, all nonresidential structures proposed within this planning area are required to meet the commercial design standards of the Development Design Standards. These standards will require light industrial uses to be designed to look like commercial buildings, maintaining the commercial character of the property north of Belford Avenue.

As development has occurred within the area and as outlined within the applicant’s narrative, the market conditions are changing leading to the demand for more flexible uses. The proposed PD Amendment does not change the character of the area, but allows for a greater variety of land uses to attract users to the area.

Vicinity Map



II. PRIOR ACTIONS

Date	Action
February 5, 2007	Town Council approved the Annexation and Zoning of the Compark Village Property which consisted of the original approximate 204 acres.
April 20, 2009	Town Council approved an amendment to the Compark Village Annexation and Zoning by including an additional 34 acres.
December 6, 2011	Town Council approved an amendment to the Compark Village PD to align the zoning with the current property ownership after a trade of properties between Compark Village and Cottonwood Highlands PD.

April 15, 2013	Town Council approved the Annexation of the Compark Village 3 Property and approved the third amendment to the Compark Village PD.
January 5, 2015	Town Council approved the Annexation and Zoning of 150 acres of land immediately south of E-470 called Compark Village South.
January 19, 2016	Town Council approved Annexation and Zoning Amendments to add eight (8) acres of land from the adjacent Cottonwood Highlands Planned Development into the Compark Village PD at the corner of Chambers Road and Cottonwood Drive.
February 20, 2024	Town Council approved the Compark Village PD 6 th Amendment which allowed for a Data Center on certain lots within the development.
April 1, 2024	The Compark Village PD 7 th Amendment was administratively approved to correct the ownership listed on the cover page.

III. CURRENT SITE DATA

Existing Zoning	PD - Planned Development		
Overlay District	N/A		
PD & Plan Area	Compark Village PD 7 th Amendment		
Master Plan Area	E-470 Mixed Use		
Site Acreage	35.2 acres		
Subdivision	Compark Village South Filing No. 1		
Existing Use	The property is currently vacant/undeveloped.		
Surrounding Uses			
	Master Plan Land Use	Zoning	Existing Use
North	Employment	PD – Planned Development	E-470 and Light Industrial Development
South	Medium Density Residential	PD - Planned Development	Belford Avenue and Single Family Detached, Duplex and Multi-Family Residential
East	Mixed Use	PD - Planned Development	Happy Canyon Creek and Vacant Commercial
West	Douglas County	Douglas County Zoning	Vacant undeveloped

IV. PARKER 2035 MASTER PLAN

Parker 2035 Master Plan | Town of Parker - Official Website

MASTER PLAN CONSISTENCY	
Master Plan Designation	Mixed Use <input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent
Master Plan Character Discussion	<u>E-470 Mixed Use:</u> Residents should be able to walk and bike to services through blended land uses, public amenities and a multimodal transportation system. Appropriate land uses include; multi-family, senior housing, assisted-living facilities, office, retail and

	<p>restaurants. No one land use will dominate the development pattern. Residential at less than 10 dwelling units per acre is not appropriate in this area unless it transitions to adjacent residential development.</p>
<p>Consistent Goals/Strategies</p>	<p>Land Use 1.A Land Use 1.B Land Use 1.C Land Use 1.D Land Use 1.E Land Use 1.H Jobs and Economic Vitality 2.B</p>
<p>Staff Analysis</p>	<p>The project proposes to rezone the property from Mixed Use and Neighborhood Commercial to Neighborhood Commercial, Office Employment and Light Industrial Flex within the Compark Village Planned Development. The proposed rezoning will change the permitted land uses from primarily commercial retail to allow for a variety of land uses from commercial retail, office, employment and limited light industrial. The proposal also increases the amount of open space preserved.</p> <p>The Compark Village South area allows for a mix of land uses consistent with the Master Plan. Residential uses are permitted south of Belford Avenue and are currently under construction. The area north of Belford Avenue and subject to the proposed rezoning will continue to allow for a blend of commercial uses, but the amendment proposes to expand the permitted uses to allow for increased flexibility to accommodate market demand. The uses north of Belford Avenue also will function as a transition between the residential uses and E-470.</p> <p>The Mixed Use District within the E-470 Corridor of the Parker 2035 Master Plan recommends a mix of uses including residential, office, retail and restaurant. The E-470 corridor's easy access to regional employment centers and regional transportation facilities including Denver International Airport and Centennial Airport along with its location near hospitals and other medical industries make it an attractive location in Parker for businesses to locate. The primary uses in this Character Area are intended to attract a variety of complementary uses, such as business and personal services, convenience retail, childcare and restaurants.</p>

	Based on this analysis, staff has determined that the request is consistent with the Parker 2035 Master Plan.
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V. DEVELOPMENT POTENTIAL

DEVELOPMENT POTENTIAL (Rezoning)			
Provisions	As recommended by the Master Plan	Proposed	Analysis
Units Per Acre	Residential uses north of Belford Avenue are not proposed as a part of this rezoning.	None	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> No Change <input type="checkbox"/> N/A
Allowed Uses	Mixed Use: a blend of land uses including retail, restaurant and office.	A mix of commercial uses including retail, office, employment and limited light industrial.	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> No Change
Height/Stories	Building heights are based on the type of development that is proposed in each Planning Area within the PD.	Building heights will be reviewed at the time of Site Plan review. Heights are permitted up to sixty (60') feet.	<input type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> N/A
Staff Analysis	As detailed in the analysis above, the requested rezoning is consistent with the Parker 2035 Master Plan.		

VI. ACCESS, CIRCULATION & TRAFFIC ANALYSIS

The property is located south of E-470, west of Chambers Road and north of Belford Avenue. All major roads in and around the development have been constructed. The High Plains (E-470) Regional Trail and Happy Canyon Creek Trail have been constructed near or adjacent to the property.

The area proposed to be Rezoned will have access off Belford Avenue, but as development occurs, additional roadways may be required. The applicant or an end user(s) will be required to address access, circulation and traffic at the time of future plat and/or site plan. The applicant will be required to construct any drainage, roadway and other infrastructure improvements necessary for the proposed development.

VII. APPROVAL CRITERIA REZONING

Title 13.04.240.f. Approval Considerations for Rezoning Requests:

1. There has been significant change in the area surrounding the property since the date of the existing zoning.

Applicant's Response

The 1st Amendment to Compark PD was approved in 2009 when it was included in the Town of Parker. Compark Village PD south of E-470 when originally annexed and zoned, the purpose and intent was primarily Commercial uses. Since that time, and due to the location along E-470 and surrounding uses, there is significant interest in Compark for businesses providing high quality employment opportunities. Additionally, the proposed hospital campus directly west of Compark Village will warrant the need for supporting healthcare services and medical and dental facilities. The Office/Employment, Light Industrial Flex and Neighborhood Commercial will provide new business for employment including ancillary uses in support of the hospital campus. The rezoning still provides for a variety of employment, retail, and service commercial in a compatible manner without limiting the area to a specific use.

Staff Analysis

The Compark Village South property was annexed into the Town in 2015. In the last ten (10) years, Belford Avenue has been constructed and the residential development of the property has commenced. Commercial land uses to the east, closer to Chambers Road, have also been platted and have begun to develop. The proposed PD Amendment will not change the overall nonresidential use or character of future development of the property but expand the permitted uses to better align with market demand and allow for additional flexibility while continuing to limit the impacts to the existing residential.

Based on this analysis, the proposal meets this criterion.

2. The application is consistent with the Master Plan.

Applicant's Response

The proposed PD Amendment remains consistent with the Town's Master Plan maps, goals, and policies. The proposed changes in land uses are consistent with the Mixed-Use designation on the Parker 2035 General Land Use Plan. Compliance with the goals and policies was deemed consistent by the Town Council when the property was originally zoned, as well as at the time of each subsequent amendment. Generally, the mixed-use character of the area provides for uses that will allow residents to walk and bicycle to their daily needs including retail, employment, and recreation through a blend of compatible land uses, public amenities, and an integrated multimodal transportation system. The areas proposed to be rezoned further this goal by providing the potential for a variety of business employment, retail, and commercial uses enhancing the mixed-use character of the area.

Staff Analysis

As detailed in Section IV of this staff report, the proposed zoning amendment is consistent with the Town's Parker 2035 Master Plan.

Based on this analysis, the proposal meets this criterion.

3. There is a need for the type of development enabled by or proposed in connection with the Rezoning.

Applicant's Response

The proposal is for an amendment to the nonresidential land uses within the Compark Village PD. The proposed zoning is needed to address the increasing market demand for business employment uses, including healthcare, and a variety of light industrial uses such as research and development, assembly and light manufacturing, flex office, and office warehouse in close proximity to have access to major transportation corridors such as S. Chambers Road and E-470. The proposed Neighborhood Commercial will serve both residents in nearby neighborhoods and employees of the proposed non-residential uses. Market conditions have changed and the demand for more flexible use areas and business employment uses, including healthcare, are greater than the demand for retail and commercial services, although necessary for support services. The flexibility in the type of uses proposed in the Light Industrial Flex and Office/Employment use areas will be attractive to users wanting primary employment space including healthcare facilities, or flex type space provided. However, the proposed zoning areas retain the flexibility to have retail and office uses should the market respond accordingly.

Staff Analysis

As the Compark Village area has developed, the demand for additional flexibility in use has increased. The proposed PD Amendment will keep the nonresidential component of the development, but will expand the permitted uses to account for market demand. The proposal will continue to:

1. Provide adequate opportunities for expansion of the Town's economic and tax base.
2. Support infill development that is compatible with existing commercial development bordering the property to the north and west.

In addition, the proposal will preserve additional open space along the Green Acres Tributary.

Based on this analysis, the proposal meets this criterion.

4. The ground to be rezoned is the correct size, topography, and site for the proposed development.

Applicant's Response

The site was determined to be appropriate for the proposed development at the time of the original zoning. The site is indeed the correct site as the proposed change is only

for the currently zoned nonresidential areas. The proposed land uses, although slightly different, are located north of the residential areas and are along E-470. The Light Industrial Flex Area is further buffered from the residential land uses by the Green Acres Tributary. The Office Employment Area and the Neighborhood Commercial Planning Areas are separated from the residential areas by Belford Avenue where a 20-foot building setback is proposed. Overall, the proposed zoning is needed to address the increasing market demand for business employment uses and a variety of light industrial uses such as research and development, assembly and light manufacturing, flex office, office warehouse, and healthcare uses in close proximity to and with easy access to major transportation corridors such as S. Chambers Road and E-470. Existing infrastructure is readily available given the development of adjacent parcels.

Staff Analysis

The property is currently located south of E-470 and adjacent to commercial areas to the east within Chambers Highpoint. The size and configuration of the site are suitable for the type of development permitted under the proposed zoning. The Green Acres Tributary will be preserved as open space, and the remainder of the property is not constrained by significant topographic features or other natural limitations. The existing residential uses located to the south will be buffered by both Belford Avenue as well as Green Acres Tributary. Design standards have been incorporated into the proposed PD rezoning to ensure all buildings constructed are compatible with the surrounding area.

Based on this analysis, this criterion has been met.

- 5. Adequate pedestrian, bicycle, and vehicular access and circulation routes exist to serve the proposed development, and any material adverse impacts on traffic circulation near the property will be mitigated to the maximum extent practicable.**

Applicant's Response

Existing infrastructure is readily available given the completion of Belford Avenue, which is adjacent to the site, which connects from Meridian Boulevard to Chambers Road. Chambers Road to the east and Peoria Street to the west provide direct access to E-470 Highway. Bicyclists and pedestrians will be able to easily access the sidewalk system along Belford Avenue and the existing Cherokee Regional Trail on the north side of the site.

The Traffic Conformance Letter prepared by Fox Tuttle dated August 8, 2021, states "It is anticipated that the approved roadway network, intersections, and access can accommodate the proposed change in zoning since the associated trips are similar to the Master TIS for Compark Village. As such, there will be no impact or significant change in the circulation or traffic movements based on the proposed amendment. It is anticipated that the approved roadway network, intersections, and access can accommodate the proposed change in zoning from MU and NC to Office/Employment, Neighborhood Commercial and Light Industrial Flex since the associated trips are similar to the Master TIS. The analysis for the proposed change in zoning estimated

that the findings of the Master TIS are still valid. Therefore, no new traffic analyses are required beyond what was already analyzed in the original study for off-site improvements.

Staff Analysis

The roadway network needed to serve the development has been constructed and is available for use with this development. The Town of Parker Engineering has also evaluated the proposed rezoning and had no additional comments related to traffic. At the time of replat or site plan, the proposed development will be reviewed for traffic impacts and any improvements that may be necessary for the development to ensure adequate circulation.

The property has access to both the High Plains (E-470) trail and the Happy Canyon Trail providing direct access to the regional trail system.

The applicant will be required to construct all traffic and multimodal improvements necessary for the development.

Based on this analysis, the proposal meets this criterion.

- 6. The proposed development will not create material environmental impacts on the surrounding area or the Town as a whole, or demonstrates the mitigation of environmental impacts to the maximum extent practicable.**

Applicant's Response

The proposed PD amendment will not have any environmental impacts. The only significant natural feature is Happy Canyon Creek where the drainage improvements along the Creek are complete. Planning Areas 13, 14, and 15 were realigned along the redesigned drainageway to ensure there is no impact to the drainageway.

Staff Analysis

Compark Village South Filing No. 1 platted the subject properties into tracts. This plat also created open space tracts around Green Acres Tributary and Happy Canyon Creek, along with completing any required drainage improvements. As a part of any future Site Plan application, site improvements will be required to meet all Town environmental standards as set forth in the Land Development Ordinance as well as any State requirements to be designed to ensure that any environmental impacts are mitigated.

Based on this analysis, the proposal meets this criterion.

7. Additional municipal service costs will not be incurred which the Town is not prepared to meet.

Applicant's Response

Infrastructure has been or will be extended by the developer or metro district to serve the areas proposed for rezoning. As such, there will be no impact on Town cost. Additionally, there will be no impact to other Town services, such as life safety, as the rezonings do not provide uses and levels of development significantly greater than originally anticipated and planned for as part of the original Compark Village master plan.

Much of the existing infrastructure is in place to serve the Planning Areas proposed for rezoning. In Compark Village, South Chambers Road connects to Belford Avenue which will provide access to PA -13, 14, and 15. Many utility services are in place serving the existing uses therefore making services readily available. Additional services into the planning areas will be extended as development occurs.

Staff Analysis

This PD Amendment will not change the municipal service impacts that were previously anticipated. The existing zoning allowed for commercial uses and the proposed amendment will continue to allow for commercial, office and light industrial uses.

Based on this analysis, the proposal meets this criterion.

8. There is adequate waste and sewage disposal, water, schools, parks and recreation, and other services to serve the proposed development, or the applicant has agreed to provide any additional required capacity.

Applicant's Response

There is no anticipated change in service needs based on the proposed amendment. Water and sewage disposal will continue to be provided through an IGA with Stonegate Village Metro District. The amendment does not provide for additional residential units therefore there should be no impact on schools, parks, and recreational needs.

Staff Analysis

Stonegate Metro District has indicated an ability to serve the subject properties. This PD Amendment will not change the impacts that were previously anticipated. The existing zoning allowed for commercial uses and the proposed amendment will continue to allow for commercial, office and some limited light industrial uses. All utilities will also be available to serve the development.

Based on this analysis, the proposal meets this criterion.

VIII. SUMMARY REFERRAL AGENCY COMMENTS AND CONDITIONS

Agency	Zoning Comments
Parker Engineering	Approved.
Aztec Consultants	No Comment
Parker Building	No Comment
South Metro Fire	Approved
Douglas County Planning	No Comment
PSCO	PSCO will require future development to dedicate ten (10') wide utility easements around the perimeter of the property.
CORE	Approved.
CenturyLink	I have reviewed this Plat and have no objections. If any conflicts should arise the requestor can reach out to me for resolution.
Comcast	No Comment
Stonegate Village Water and Sanitation District	No Comment
Town of Parker Economic Development	Economic Development is supportive of these proposed zoning changes.
Belford South Metro District	No Comments
Belford North Metro District	No Comments
Centennial Airport	No objection to the proposed development.

Town of Parker Comprehensive Planning	The applicant's proposed rezoning of Planning Areas 13, 14 and 15 of the Compark Village PD (south area between Belford and E-470) to Light Industrial Flex (LIF), Office/Employment (OE) and Neighborhood Commercial respectively, is not in direct conflict with the Parker 2035 Master Plan. However, the applicant should ensure compatibility and neighborhood cohesiveness of these proposed zoning districts and uses with the residential land uses south of Belford. Chapter 7 - Community Appearance & Design of the Parker 2035 Master Plan provides guidance to support Parker's character and distinctive design: Strategy 3. Commercial buildings shall give special attention to building massing, form and design to create a series of unique places that contribute to the overall character of Parker as a distinctive community. Chapter 8 Jobs & Economic Vitality is supportive of development creating jobs and higher education opportunities - specifically strategies 2 and 3:2. (in part) Encourage and support a high level of diverse, quality retail and services, with an emphasis on local businesses; and 3. Support existing higher education organizations and promote the development of additional higher educational campuses within Parker.
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IX. CONCLUSION

Staff has reviewed the proposal to rezone approximately 35.2 acres located within Compark Village South, south of E-470, north of Belford Avenue and west of Chambers Road for the following changes:

- Planning Area 13 (far west) is proposed to be changed from a Mixed-Use Designation to a Light Industrial Flex Designation. In addition, the Planning Area is proposed to decrease in size from 26.4 acres to 22.7 acres.
- Planning Area 14 (middle) is proposed to be changed from a Neighborhood Commercial designation to an Office Employment designation. This Planning Area is proposed to be increased from 9.07 acres to 12.8 acres in size.
- Planning Area 15 (far east) is proposed to go from a Mixed-Use designation to a Neighborhood Commercial designation. This Planning Area is proposed to be decreased in size from 9.86 acres to 6.4 acres.
- The Open Space area between Planning Areas 13 and 14 which contains the Green Acres Tributary is proposed to be increased from 9.33 acres to 16.7 acres.

This proposal is consistent with the Parker 2035 Master Plan and demonstrates compliance with the approval criteria for rezonings. Therefore, staff is recommending the Planning Commission recommend Town Council approve the Compark Village Planned Development 8th Amendment.

X. RECOMMENDED CONDITIONS

None

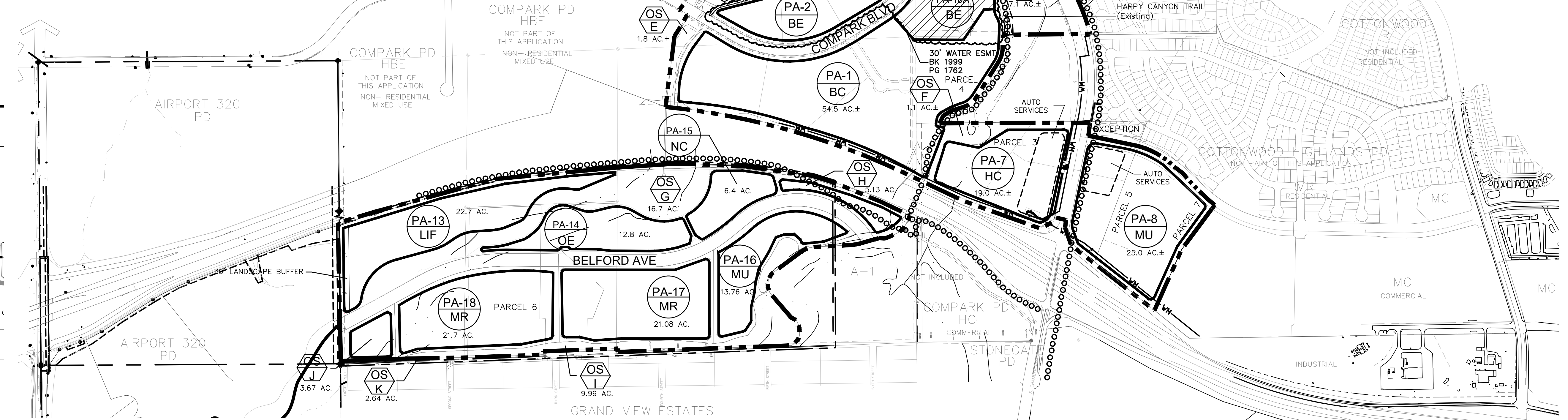
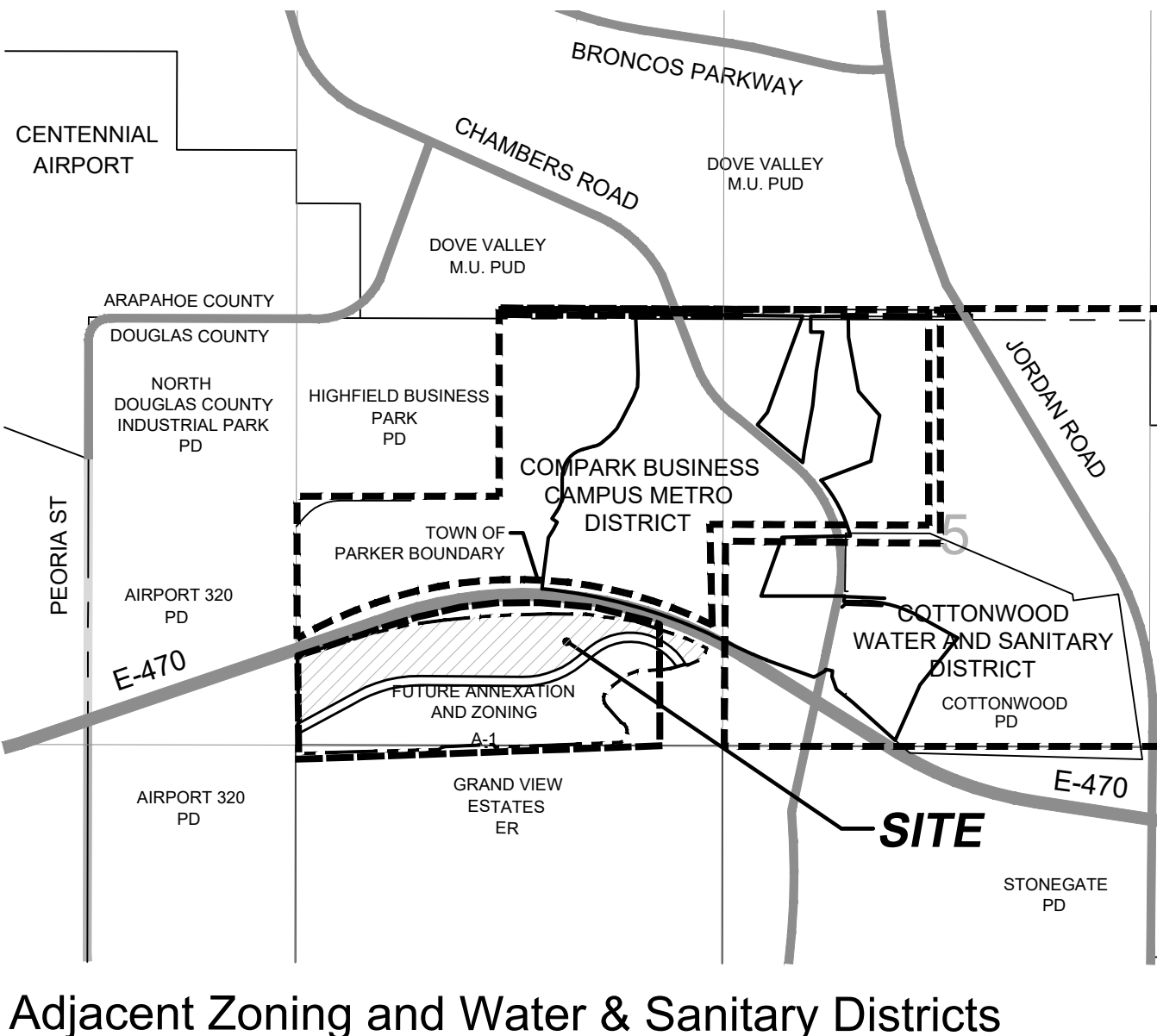
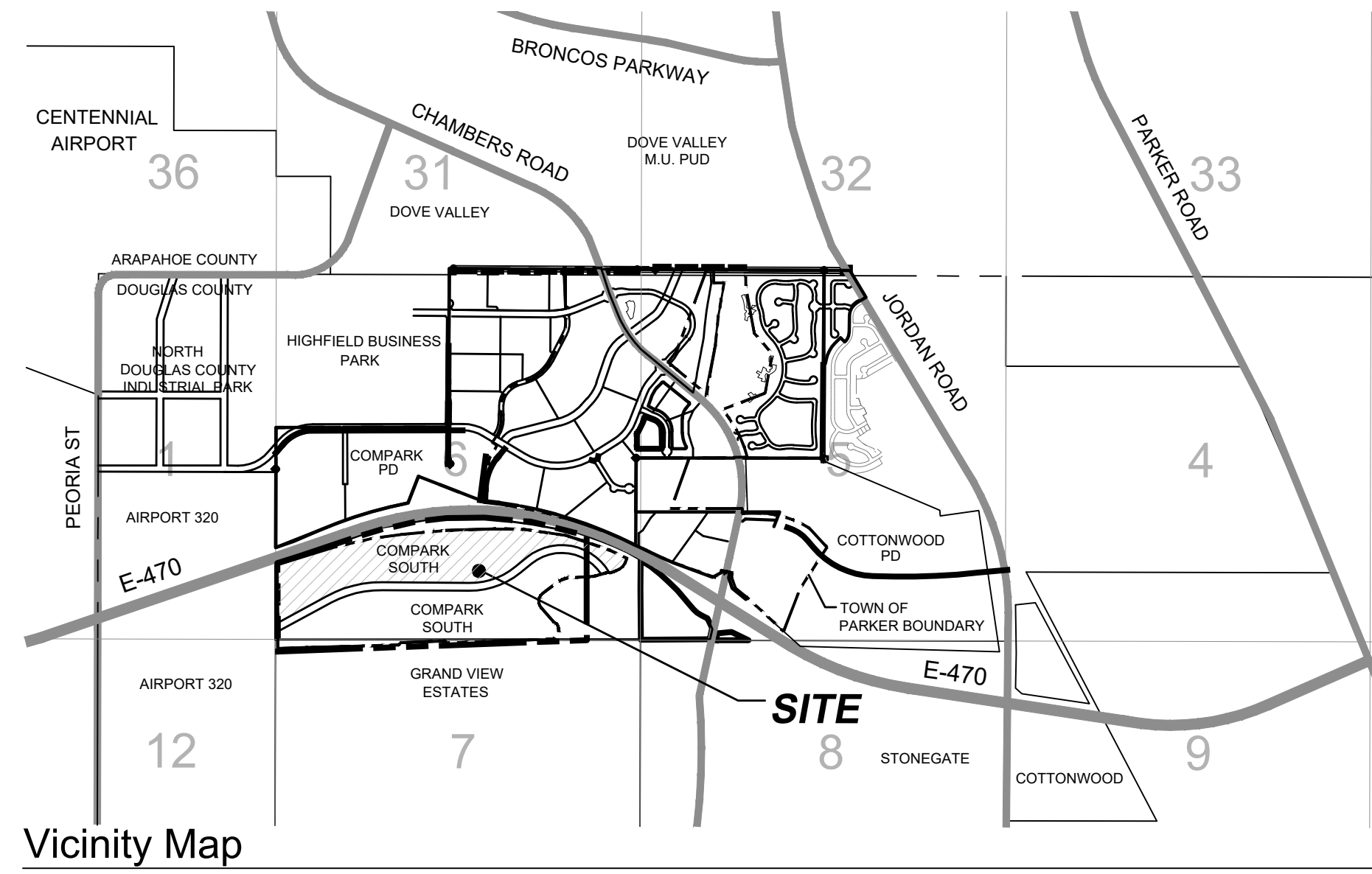
XI. ATTACHMENTS

Compark Village Planned Development 8th Amendment

Report Approved By: Bryce Matthews, Assistant Director, Planning

COMPARK VILLAGE PLANNED DEVELOPMENT - EIGHTH AMENDMENT DEVELOPMENT PLAN

BEING A PART OF THE SOUTH HALF OF SECTION 6 ALL IN TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
Z25-001



- Legend**
- PA-1 - Planning Area
 - BC - Land Use Designation
 - OS
A - Open Space Designation
- Open Space Planning Area
 - PF
1 - Public Facilities
- Public Facilities Number
 - (BC) Business Commercial
 - (MU) Mixed Use
 - (OS) Open Space
 - PA Boundary
 - Flood Plain
 - Existing Trails
 - Auto Related Services Boundary
 - ✳ Auto Services Permitted
 - ▨ Data Center Overlay

Utility Providers
 Electricity IREA
 Gas Xcel
 Telephone Qwest

100-Year Floodplain Info
 The floodplain has been depicted referencing the Federal Flood Insurance Rate Maps, Community Numbers, 08035C0054F, 08035C0058F, 08035C0062F, and 08035C0066F and Community Number 08035C, dated September 30, 2005

Avigation Easement
 This subdivision is subject to the Avigation and Hazard Easement recorded in Book 465 at Page 324 of the Douglas County Records

General Notes
 The Compark PD Plan Exhibit illustrates proposed land uses and site data. Land use acres are approximate. The plan is intended to allow for changes and refinement. The exact acreage of planning areas will be determined during preparation of individual site improvement plans and plats.

* The discrepancy in the total acreage between Compark Village Planned Development – Fifth Amendment and the Compark Village Planned Development Sixth, Seventh, and Eighth Amendments is a result of the platting of Compark Village Filings 8, 10 and 11 and Compark South Filing 1 as compared to the approximate acreages on the Planned Development Plan. The discrepancy is also a result of defining drainages and street rights-of-way.

LAND USE TABULATION - OVERALL COMPARK PLANNED DEVELOPMENT						
LAND USE DESIGNATION	SYMBOL	PLANNING AREA	ACRES	MAX TOTAL # OF DU	MAX DU/AC	% OF TOTAL
Business Commercial	BC	PA-1, PA-12	78.50	-	-	20.2%
Neighborhood Commercial	NC	PA-15	6.40	-	-	1.6%
Highway Commercial	HC	PA-7	19.00	-	-	4.9%
Mixed Use	MU	PA-8, PA-16	38.76	PA8=306 PA16=300	30 NA	10.0%
Light Industrial Flex	LIF	PA-13	22.70	-	-	5.8%
Office Employment	OE	PA-14	12.80	-	-	3.3%
Business Employment	BE	PA-2, PA-4, PA-5, PA-10A	50.32	-	-	12.9%
Mixed Residential	MR	PA-6, PA-11, PA 17, PA-18	67.48	PA6 & PA11= 85 PA17 & PA18=225	-	17.3%
Commercial Retail	CR	PA-3, PA-9, PA-10	12.00	-	-	3.1%
		SUBTOTAL	307.96			79.2%
Auto Services, Gas Stations and Car Washes		Sub Areas in PA-7, PA-8, PA-9 and PA-10		Limited to one approved auto service, gas station and/or car wash user per planning area. Not more than three auto services, gas stations and/or car wash uses permitted within the boundary of the Compark Village PD.		
Open Space (Flood Plain and Slopes Greater than 20%)	OS	A, B, C, D, E, F, G, H, I, J, K	80.53	-	-	20.7%
Public Facility	PF		0.48	-	-	0.1%
		SUBTOTAL	81.01			20.8%
		TOTAL	388.97			100.0%

Compark Village Planned Development Eighth Amendment - Development Plan

OWNER / APPLICANT
 Compark South III, LLC
 Compark South IV, LLC
 4100 East Mississippi Ave
 Suite 500
 Denver, CO 80246
 303-984-9800

8TH AMENDMENT PLANNER
 Henry Design Group, Inc.
 1501 Wazee St.
 Suite 1-C
 Denver, CO 80202
 303-446-2368

LAND PLANNER/LANDSCAPE ARCHITECT
 Plan West, Inc.
 767 Santa Fe Drive
 Denver, CO 80204
 303-741-1411

Town of Parker, Colorado

job no. 10-11-2021
 date 03-18-2022
 revisions 09-20-2022
 04-17-2024
 01-21-2025
 05-05-2025
 09-10-2025
 10-22-2025

ENGINEER
 Manhard Consulting
 8008 E. Arapahoe Court
 Suite 110
 Centennial, Colorado 80112
 303-708-0500

Scale 1" = 500'

PLANWEST
 PLANNING | SITE DESIGN | LANDSCAPE ARCHITECTURE | ENTITLEMENTS
 767 Santa Fe Drive Denver, CO 80204
 303-741-1411
 planwest.com

sheet 3 of 3

THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND EASE OF REFERENCE ONLY. INCLUSION OF SAID INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.

COMPARK VILLAGE Planned Development Development Guide

First Amendment

April 20, 2009

Second Amendment

September 19, 2011

Third Amendment

September 19, 2012

Fourth Amendment

January 5, 2015

Fifth Amendment

October 15, 2015

Sixth Amendment

February 20, 2024

Seventh Minor Amendment

April 4, 2024 (No Revisions to the PD Guide)

Eighth Amendment

March 2, 2026

Eighth Amendment prepared for:

Westside Investment Partners, Inc.
4100 E. Mississippi Ave., Suite 500
Denver, CO 80246

Previous PD prepared by:



THK Associates, Inc.

2953 S. Peoria Street, Suite 101
Aurora, CO 80014
(303) 770- 7201.



767 Santa Fe Drive
Denver, CO 80204
(303) 741-1411

Eighth Amendment Prepared by:



Landscape Architecture • Planning • Entitlements

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Compark Village Planned Development Eighth Amendment - Development Guide

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COMPARK VILLAGE PD –EIGHTH AMENDMENT

INTRODUCTION AND GENERAL CONDITIONS

INTENT

The intent of the Development Guide is to establish specific criteria for the comprehensive development and improvement of the property. The standards will help guide the development in an orderly manner to provide the residents of Parker with a comfortable place to live, work, play, and shop.

In support of the Town of Parker's 2035 Master Plan, it is the intent of this Development Guide to direct and encourage the following:

- provide the opportunity for mixed residential, retail, commercial and recreational development conveniently located to the community.
- provide for well-located, clean, safe and pleasant mixed commercial uses.
- encourage innovative approaches to mixed residential, commercial, and recreational development so the growing demands of the population may be met by greater variety in type, design, and layout of buildings and by the conservation and more efficient use of open space.
- encourage the development of a community by incorporating the best features of modern design.
- encourage alternatives to conventional transportation systems which will minimize the strain on existing and future facilities in and around Compark Village. Such alternatives may include pedestrian connections to the Happy Canyon Regional Trail, pedestrian connections to existing and future commercial development in the area, car-pooling, and extended commuter bus systems.
- conserve and enhance the value of the land.
- encourage the site design and layout of development projects to preserve the land's natural characteristics.

The intent of the Compark Village Planned Development – Eighth Amendment is to continue to build on the framework of the existing Village and what was established with the Fifth and Sixth Amendments to offer better opportunities for community growth within the Town of Parker. The additional Neighborhood Commercial in PA15 Office/Employment in PA-14 and Light Industrial Flex in PA-13 will provide additional opportunities for retail, office, healthcare facilities, commercial and employment facilities, allowing more flexibility for primary employment users. The proposed Amendment will not change the intent of Compark Village Development as it continues to grow. Additionally, the Amendment will continue to provide a variety of land uses that further the development intent of the Compark Village Planned Development as it matures.

APPLICATION

Standards for development shall apply to all property contained within the Compark Village PD - Eighth Amendment that is illustrated on the Development Plan. The regulations and requirements shall become the governing standards for review, approval, and modification of all development activities occurring on the site.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

The provisions of this guide shall prevail and govern the uses permitted within the area defined as the Compark Village PD – Eighth Amendment. This guide only supersedes the specific zoning category, not the Town of Parker’s Municipal Code, as amended.

PURPOSE

The purpose of this section is to provide general provisions and clarifications of standards and requirements for development in the Compark Village Planned Development – Eighth Amendment.

AUTHORITY

The authority for this PD Development Guide is Section 13.04.200. (PD-Planned Development) of the Town of Parker Municipal Code, as amended.

ADOPTION

The adoption of this Development Guide shall evidence the findings and decision of the Town Council of the Town of Parker that this Development Guide for the Compark Village Planned Development - Eighth Amendment is authorized by the provisions of Section 13.04.200 of the Town of Parker Municipal Code, as amended.

RELATIONSHIP TO TOWN REGULATIONS

The provisions of this Development Guide shall prevail and govern the development within the Compark Village Planned Development - Eighth Amendment. Where the provisions of the Development Guide do not address a specific subject, the provisions of the Town of Parker Municipal Code, as amended, or other applicable ordinances, resolutions or regulations of the Town of Parker shall prevail.

CONFLICTS

Where there is more than one provision within the Development Guide that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern unless determined otherwise by the Community Development Director.

ENFORCEMENT

The provisions of the Development Guide relating to the use of land shall run with the land in favor of the Town of Parker and shall be enforceable, at law or in equity, by the Town of Parker. All provisions of this Development Guide shall run in favor of the residents, occupants, and owners of the land within the Compark Village Planned Development – Eighth Amendment to the extent expressly provided in this Development Guide and in accordance with its terms and conditions.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

CONTROL OVER USE

After the adoption of this Development Guide by the Town Council of the Town of Parker and subject to the approved Annexation Agreement, the provisions of Section 13.01.070

Non-Conforming Situations and these Development Standards, in conjunction with the Town of Parker Land Development Code, shall control development and land use including the following:

- any new building, structure, or land use
- the use of any existing building, structure, or parcel of land
- any existing building or structure may be enlarged, reconstructed, structurally altered, converted, or relocated provided changes are in accordance with this Development Guide and the Development Plan

INCORPORATION OF DEVELOPMENT PLAN

Development areas for the Compark Village Planned Development – Eighth Amendment are illustrated on the “*Compark Village PD – Eighth Amendment Development Plan*” (referred to as the *Development Plan*). The Development Plan is hereby incorporated by reference into this Development Guide.

PLANNING AREA BOUNDARIES

The boundaries and acreage of all Planning Areas within Compark Village Planned Development are shown on the Development Plan. Changes in the boundaries and area of Planning Areas shall be permitted as follows:

The size of any Planning Area may increase or decrease after final determination of internal street alignments, arterial street alignments, 100-year floodplain boundary, open space and buffer zone areas. The final boundary of any Planning Area will be established when the final plat is prepared for that area.

Amendments to planning areas shall be subject to Section 13.03.040 (n) of the Town of Parker Municipal Code.

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

DEFINITIONS

All terms not defined in these Guidelines shall have the meanings ascribed to them in the Town of Parker Zoning Municipal Code, as amended. To the extent that a term is defined in both these Development Standards and the Town of Parker Zoning Resolution, as amended, the definitions contained in the Compark Village – Eighth Amendment Development Standards shall control.

Automobile Rental Facility

The rental of automobiles under conditions where (1) the storage of all rental automobiles is located on the same zone lot as the office for the automobile rental service, (2) no mechanical or maintenance work on automobiles shall be done on the premises, (3) the land area assigned for storage of rental automobiles shall not be included for computation of any required off-street parking space.

Automotive Fuel Sales

Automotive fuel sales means a lot or portion of property where flammable or combustible liquids or gases and electric and other alternative sources used as fuel are stored and dispersed from fixed equipment into the fuel tanks of motor vehicles. Such an establishment may offer for sale motor oil, automobile lubricants, food and beverages, travel aids, and other retail convenience items to the motoring public and may also include an automatic car wash as an accessory use. Automotive Fuel Sales shall include a convenience store, a minimum of 1,500 square feet in size.

Automotive Repair, Major

Automotive repair, major means an establishment primarily engaged in providing vehicle repair, body work, mechanical repair of engines and drivetrains, and/or painting. Outdoor storage will follow the Development Design Standards.

Automotive Repair, Minor

Automotive repair, minor means an establishment primarily engaged in providing minor vehicle repair services such as lubrication, oil and tire changes, tune-ups, brake repair, tire replacement, and detailing and polishing, provided it is conducted within a completely enclosed building. Major repairs such as vehicle bodywork or painting, mechanical repair of engines or drive trains is prohibited. Outdoor storage will follow the Development Design Standards.

Continuing Care Facility

A continuing care facility means a community or campus setting for care of the elderly or others in need of assisted care, that has common facilities and provides licensed intermediate and skilled nursing facilities for its residents, as well as other supportive services. This use generally includes a variety of housing types and provides a variety of levels of assistance and care so that its residents may obtain higher levels of care and service over time without having to move to another residential care facility. This use includes establishments, other than a hospital, licensed by the Colorado State Department of Public Health, that maintains

COMPARK VILLAGE PD –EIGHTH AMENDMENT

and operates continuous day and night facilities providing room and board, personal service, and skilled nursing care such as assisted living, independent living, and/or memory care. A continuing care facility is not considered a "group home" or "group residential facility" as defined in the Town of Parker LDO and does not include facilities that are not required to be licensed by the Colorado State Department of Public Health.

Convenience Store

A retail establishment that focuses on quick sales of everyday items like food, snacks, beverages, beer, wine and liquor and other small household goods.

Data Center

A facility containing one or more large-scale computer systems used for data storage and processing for off-site users. Typical supporting equipment includes backup batteries and power generators, cooling units, fire suppression systems, and enhanced security features.

Flex Office

Flex office allows flexible land use for office, product research and development, the assembly and fabrication of goods and products, wholesale and retail sales, and warehousing for distribution of products in a storefront/office styled building.

Assembly and fabrication are limited to goods produced with little if any noise, vibration, glare, and/or air and water pollution produced on the exterior of the buildings. The goods produced require the use of technical equipment, table-mounted tools, and machinery, or artisan equipment for the predominant means and method of production. Large tools and floor mounted equipment are permitted if required in a limited role, supporting the primary function.

Examples of goods for assembly and fabrication include but are not limited to computers, computer related equipment, jewelry, electronic instruments, specialty or custom cabinets and furniture, medical equipment, scientific equipment, alternative energy products, optics, office machines, and other uses. The use of toxic, hazardous, biological, or explosive materials, or highly flammable solvents as a primary component of the process are prohibited. Painting as a supplementary process for the finishing of a product is acceptable provided noxious fumes and particles are filtered prior to being discharged to the exterior of the structure.

Healthcare Facility

Per the Town of Parker Land Development Ordinance, Healthcare Facility means uses focusing on medical services, particularly licensed public or private institutions that provide primary health services and medical or surgical care to persons suffering from illness, disease, injury, or other physical or mental conditions. This use includes hospitals, continuum of care campuses, surgery centers, physician practices and like health care facilities. Accessory uses may include laboratories, outpatient, or training facilities, or other amenities primarily for the use of employees in the firm or building.

Healthcare Facilities may include but not be limited to the following Medical and Dental Facilities:

- Air/Ambulance Transportation
- Ambulatory Surgery Center
- Behavioral Health

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- Birthing Centers
- Cancer Centers
- Cardiology
- Clinics
- Diabetes Management Center
- Diagnostic Center
- Dialysis Center
- Disability and Impairment Center
- Durable Medical Equipment
- Endoscopy Center
- Standalone Emergency Department
- Surgery Centers
- Hearing Services
- Home Health
- Hospice
- Hospital
- Laboratory and Genetic Testing
- Lithotripsy/Infusion Therapy
- Medical and dental clinics and offices including medical office buildings
- MRI/CT/PET Imaging Services
- Occupational Medicine
- Occupational Therapy
- Orthotics and Prosthetics
- Other Ancillary Services
- Pain Management
- Pediatric Diagnostic Laboratory Immunology
- Pharmacy
- Physical Therapy
- Psychiatric and Chemical Dependency
- Psychological services
- Physician's practice
- Radiology/Imaging Services
- Rehabilitation
- Reproductive Medicine Facility
- Respiratory Therapy
- Skilled Nursing
- Skilled Nursing Facility
- Sleep Medicine Facility
- Speech Therapy
- Surgery Centers
- Urgent Care/Walk-In Clinics
- Vision Center
- Weight Management Programs
- Women's Health
- Wound/Burn Care Center

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Light Industrial Flex

Light Industrial, flex refers to small-scale office industrial activities like assembly, brewing, distilling, fabricating, manufacturing, packaging, processing, repairing, servicing, or wholesaling of goods using pre-processed parts. These operations are wholly within a building and do not involve raw material processing. Light industrial uses minimize external effects such as noise, smoke, fumes, odors, glare, or safety hazards. Storage/warehouse for light industrial flex use must not exceed 50% of the building's footprint. Outdoor storage will follow the development standards outlined in this Development Guide.

Parking, Off Street

Parking located on a lot or property that is not the property occupied by the building or use for which the parking is provided, and that is not contiguous with and lacks a cross-access easement for reciprocal parking with the property occupied by the building or use for which the parking is provided.

Planning Area

An area of land within the Compark Village Planned Development defined by acreage, use, density, etc., whose boundaries are defined by the alignment of arterials or collectors or as otherwise depicted on the Development Plan.

Plaza

An open area at ground level accessible to the public at all times, and which is unobstructed from its lowest level to the sky.

Professional or Personal Services

A service establishment including, but not limited to, barber shop, beauty shop, health care facilities including medical and dental clinic, cleaner, bank, copy center, health club and other similar services.

Recreation Facility - Indoor/Outdoor including public or private clubs

Recreation facilities that may be open to the public or for private membership. Activities may include but are not limited to tennis courts, pickle ball courts, swimming pools, skateboard tracks, golf/driving range, soccer & ball fields, and ice-skating rink, billiards, bowling alley or related amusements and activities. This does not include adult entertainment facilities.

Restaurant

Restaurant means an eating/drinking establishment that is open to the public, where food and beverages are prepared, served, and consumed within the principal building, or off the premises as carry-out orders; or in an outdoor seating area on the premises. Accessory uses may include an outdoor dining area or sidewalk café.

Storage

Storage means the placement, holding, or stockpiling of material or products in a bulk form, in bulk containers or in individual containers either within a building or outside, where the use is accessory and integral to the operations of a principal use permitted within the zoning district. Storage is not permitted as a principal land use within the Town of Parker. Storage does not include areas defined as “principal display”.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Storage, Outdoor

Storage, outdoor means an outdoor area in which storage spaces are used by consumers/tenants for short- and long-term storage of personal property. Consumers/tenants retain "care, custody and control" of their personal property. Outdoor storage includes, but is not limited to, camper/RV storage, products, and material storage, as well as landscape storage and contractor storage where such storage is not accessory to a contractor's office.

Town of Parker Land Development Ordinance (LDO)

The Town of Parker Land Development Ordinance is located in Title 13 of the Town of Parker Municipal Code as amended by the Town of Parker, Town Council.

Warehouse

A warehouse is a structure or part of a structure, for storing goods, wares and merchandise, whether for the owner or for others, and whether the same being public or private warehouse.

Warehouse Trade

An establishment primarily engaged in selling durable and nondurable goods.

Wholesale Business/General Merchandising

Wholesale sale, mail order sale, Retail sale, distribution, and warehousing of any commodity, (except motor and recreational vehicles).

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

MIXED RESIDENTIAL (MR)

Planning Areas 6, 11, 17, and 18

INTENT

The Mixed Residential Planning Area (PA 6, 11, 17, and 18) provides for the opportunity to offer flexibility with the land planning and site development. The planning area can be developed with a variety of low-density residential uses. The flexibility in land uses provides the framework to combine supporting uses in a dynamic neighborhood and allows development to respond to changing market conditions. The development standards will help ensure quality improvements in the Town of Parker.

The land uses allow housing to promote a sustainable mixed-use environment. The mix of housing types supports the Town of Parker's goals and intent for the development of the E-470 corridor.

DEVELOPMENT PROGRAM

The design intent is to create neighborhoods with a pedestrian environment. Walks will connect to the regional trail systems along Chambers Road and Happy Canyon Creek.

LAND USES PERMITTED BY RIGHT

Residential land use should promote a pedestrian environment. A traditional design theme that creates pedestrian-friendly streets and public outdoor spaces is encouraged. Parking areas should be dispersed to promote a pedestrian, neighborhood character. Building frontages are encouraged to be street-oriented to promote an urban environment. The design standards provide criteria for providing the appropriate environment.

The permitted uses for residential-only development include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Residential Land Uses

- Dormitories
- Duplex (PA 17 and 18)
- Single family detached

Supporting Land Uses

- Open space
- Playground with play structures
- Public plazas, courts and gathering spaces
- Recreation center – club house for private use to serve the residential development
- Swimming pool
- Trails for bikes, pedestrian & equestrian use
- Continuing care facility, convalescent home, nursing home and retirement home
- Recreation facility, indoor/outdoor, public/private - no motorized vehicles or BMX tracks

COMPARK VILLAGE PD –EIGHTH AMENDMENT

DEVELOPMENT STANDARDS

Density

Residential Uses

- Maximum number of units: PA 17 and 18 combined shall not exceed 225 residential dwelling units.
- Continuing care facilities and assisted living facilities are not included in dwelling unit calculations but shall be included in the gross floor area tabulation.
- PA 6 shall not exceed 45 DU.

Minimum Lot Area

- Minimum standard lot area: 5,000 square feet
- Minimum patio home lot area: 4,000 square feet
- Minimum duplex lot area: 2,000 square feet

Building Height

Maximum building height:

- 35 feet – 45 feet with SR
not including roof-top mechanical equipment
- all rooftop equipment shall be screened

Minimum Lot Width:

- At the front setback:
 - SFD: 40 feet
 - Duplex lot: 25 feet
- At a cul-de-sac, knuckle or similarly curved frontage:
at the front setback: 25 feet

Setbacks

- Primary structure front setback (from local street right-of-way):
 - 20 feet to face of garage to sidewalk
 - 15 feet to face of home
 - 10 feet to unenclosed covered porch without living space above the porch
- Primary and accessory structure side setback: 5 feet
- Primary structure rear setback:
 - 10 feet internal lot or lot adjacent to a buffer,
- 10 feet for perimeter lots along Happy Canyon Creek
- Accessory structure rear setback: 10 feet
- Detached garage rear setback: 5 feet
- Corner lot side setback (From local street right-of-way):
 - 10 feet to side of structure,
 - 20 feet to face of garage to adjacent sidewalk if side entry
- Minimum building separation: determined by fire codes
- Encroachments: Cantilevers, window wells, chimneys, entertainment centers, bay or box windows, brick or stone ledges and roof overhangs may encroach the setback a maximum of 18 inches.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- Decks and Patios: Deck and patios 30 inches or less above grade may encroach the rear or side setback provided they are no closer than five (5) feet to the rear or side property line. Open or enclosed decks on the main level of a walkout condition may encroach into the rear setback provided they are no closer than (10) feet to the rear property line.

DESIGN STANDARDS

1. Minimum Buffer on South Property line: No fences or structures shall be erected closer than 50 feet from the south property line of property for the purpose of preserving land for the East-West regional trail.
2. A 75-foot-wide landscape buffer shall be provided along the south property lines to create a separation and transition to the adjacent property. The actual size and location shall be indicated at the time of Sketch Plan.
3. Front porches are encouraged.
4. Two (2) car garages (minimum) are required.
5. Staggered setbacks are required. The front building setback of one (1) lot shall be varied by a minimum of two (2) feet from the front building setback of any home within two (2) lots on either side of the subject lot in accordance with the Town of Parker Residential Design Criteria- Sec. 13.10.161 (g) of the Parker Municipal Code, as amended.

Setbacks - See Exhibit A: Setback Table for All Planning Areas

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

BUSINESS COMMERCIAL (BC)

Planning Areas 1 and 12

INTENT

The Business Commercial Planning Area will allow for development that will support the retail/commercial business character of the Compark Village. Business Commercial planning areas are intended to maximize exposure to E-470, Chambers Road, and Compark Boulevard. The dedicated open space of Happy Canyon Creek and steep grades along the flood plain provide a dramatic edge and uninterrupted visibility of the development area. The Business Commercial zoning provides the flexibility to offer a variety of commercial, office, manufacturing assembly, and service uses.

DEVELOPMENT PROGRAM

The development program is to attract users that may desire to be in close proximity to the Baxa industries facility, Labcorp offices, the Rocky Vista University Campus, the surrounding residential neighborhoods, and the central location along E-470. Site planning in the BC planning areas should orient primary architectural facades toward the adjacent roadways. 360-degree architecture should present attractive detailing toward the primary street frontage and E-470 where visible from the highway. Truck loading and service areas shall be oriented and screened to minimize visibility from E-470, and Compark Boulevard. The assembly and fabrication of goods and products shall be wholly contained within the building. Permitted uses located within the buildings shall have impacts on the surrounding area that are similar to office buildings in the surrounding area. Site design shall encourage a pedestrian environment within each project and pedestrian connections among the various uses in Compark Village.

All non-residential structures, regardless of intended use, shall comply with the Commercial and Industrial design standards outlined within the *Town of Parker Development Design Standards*, referenced within Section 13.01.050 (e) of the Parker Municipal Code, as amended, unless otherwise stated in these standards.

LAND USES PERMITTED BY RIGHT

The permitted uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Retail, Commercial, and Office

- Convenience retail without gas pumps
- Drug store
- Equipment rental – less than 30,000 sf.; outdoor storage by special review
- Flex office
- Hardware store/home repairs
- Hotel/motel & convention facilities
- Assembly and manufacturing
- Liquor store
- Medical and dental office, clinic
- Office/professional, accounting, law, consulting
- Office for research and development, experimental and testing
- Office warehouse or showroom warehouse

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- Retail sale of any product or commodity including the following:
- Auto and motor vehicle parts, accessory sales, and tire sales
- Sale of motorized vehicles subject to the limitations and development standards for auto sales.
- Retail outlet with warehouse
- Retail showroom
- Specialty shops
- Wholesale business and general merchandising

Restaurants, Eating Establishments, and Entertainment

- Bar and lounge
- Bowling alley, pool hall
- Fast food w/ drive through
- Night club
- Quick serve with and without drive through
- Restaurant, full service

Services

- Athletic club – private/public
- Athletic fields
- Bank with and without drive through
- Day care center, nursery school
- Dry cleaners
- Funeral home/mortuary
- Hospital
- Parking lot commercial
- Personal service shops,
- Beauty parlors, barber shops, nail salon
- Shops and special trade contractors including but not limited to plumbing, electrical heating, air conditioning, cabinetmaking and printing, shops and/or repair shops
- Veterinary clinic, animal hospital, no outside kennels

Supporting Land Uses

- Community information center
- Continuing care facility, convalescent home, nursing home and retirement home
- Fire station
- Library
- Open space
- Playground with play structures
- Police station
- Public plazas, courts and gathering spaces
- Recreation facility, indoor/outdoor, public/private clubs – no outdoor BMX or outdoor motorized vehicles allowed; indoor motorized venue allowed
- Schools - private or public, K-12, colleges or universities and trade with related facilities
- Sports stadium

COMPARK VILLAGE PD –EIGHTH AMENDMENT

USE BY SPECIAL REVIEW REQUIRED

- Movie theater
- Parking lot - commercial - for off-site uses such as an RTD park-n-ride, no tractor trailers
- Wastewater, treated effluent storage facility for special district use restricted to PA-1 – special review as per section 13.03.040 (v) of the Town of Parker Municipal Code, as amended
- Wells and pumping stations – special review as per Section 13.03.040 (v) of the Town of Parker Municipal Code, as amended

DEVELOPMENT STANDARDS

Limited Sale of Motorized Vehicles as a Permitted Use

Selected planning areas in the Compark Village PD allow for the *Limited Sale of Motorized Vehicles* as a permitted use subject to the following Development Standards:

- The sale of motorized vehicles is limited to the sale of vehicles that do not require a large on-site sales inventory or outside storage of the sales vehicle.
- Surface parking or display of for sale vehicles is limited to no more than 20 vehicles.
- Outdoor display is limited to a standard parking lot layout.
- Indoor showrooms are encouraged and not limited in size.
- Service areas, garages, and repairs shall be in accordance with Auto Services, Gas Stations, and Car Washes – Development Standards.

Building Height

- Maximum Building Height – 60 feet
 - not including roof-top mechanical equipment
 - all roof-top equipment shall be screened, solar panels excepted.

Minimum Lot Area

None

Setbacks - See Exhibit A: Setback Table for All Planning Areas

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

BUSINESS EMPLOYMENT (BE)

Planning Areas 2, 4, 5, 10a

INTENT

Areas designated as Business Employment (BE) Planning Areas are intended to allow for land use flexibility and versatility. These planning areas are intended to attract regional distribution warehouses, research, and development centers, regional, community and business services, light Industrial uses, with a service, business, and commercial orientation and supporting facilities.

The intent of site plan development in the BE planning areas is to orient primary architectural facades toward the adjacent public streets. Direct view of outside storage areas, loading docks and service activities are intended to be screened from the roadways. Uses shall operate with minimal dust, fumes, odors, refuse, smoke, vapor, noise, and vibrations.

All non-residential structures, regardless of intended use, shall comply with the appropriate design standards outlined within the *Town of Parker Development Design Standards*, referenced within Section 13.01.050 (e) of the Parker Municipal Code, as amended, unless otherwise stated in these standards.

LAND USES PERMITTED BY RIGHT

The permitted uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Retail, Commercial, and Office

All land uses listed in the Business Commercial planning areas and the following are subject to the development standards.

- Animal hospital and veterinary clinic
- assembly and light manufacturing plant
- light industrial and industrial services including assembly and manufacturing

Services

- Research and Development
- Warehouse distribution Center

Data Center

Data Centers are limited to Planning Areas PA-2, PA-10A, and in limited circumstances as set forth in the Data Center Overlay Section herein, PA-10 as delineated on the Development Plan. Site planning and design are subject to design standards within the Data Center Overlay as detailed in this Development Guide.

ACCESSORY USES

The following uses shall be allowed only when a principal use has been established on the lot:

- Outdoor storage and construction yards subject to the development standards of this Development Guide.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

USE BY SPECIAL REVIEW REQUIRED

The following uses are permitted in accordance with the Use by Special Review

- Parking lot - Commercial - for off-site uses such as an RTD Park-N-Ride, no tractor trailers

DEVELOPMENT STANDARDS

Typical Standards for all Land Use Designations apply unless stipulated below.

Building Height

Maximum Building Height – 60- feet

-not including roof-top mechanical equipment

-all roof-top equipment shall be screened, solar panels excepted

Minimum Lot Area

None

Outdoor Storage

Outdoor storage will be permitted provided the outdoor storage loading and service areas meet the following criteria:

- at grade outdoor storage does not exceed 20% of the total land area of the development parcel
- major loading, service areas and outdoor storage are screened from Compark Boulevard
- placement of structures along the roadways and open space may be used as a screen

Setbacks - See Exhibit A: Setback Table for All Planning Areas

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

NEIGHBORHOOD COMMERCIAL (NC)

Planning Area 15

INTENT

The Neighborhood Commercial Planning Area is intended to accommodate a wide variety of commercial activities and for convenience to residents of Parker and the surrounding market areas. The NC District may incorporate some wholesale and minimal assembly and manufacturing activities.

DEVELOPMENT PROGRAM

All non-residential structures, regardless of intended use, shall comply with the *Commercial design standards outlined within the Town of Parker Development Design Standards*, referenced within Section 13.01.050 (e) of the Parker Municipal Code, as amended, unless otherwise stated in these standards.

LAND USES PERMITTED BY RIGHT

The permitted uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Use Specific Standards shall apply as specified in the Town of Parker Land Development Ordinance (LDO).

Group Living/Residential

Continuing Care Facility including assisted living facilities

Community and Cultural Facilities

- Park
- Open Space
- Day Care (Less than 10,000 square feet)

Educational Facility

School, Vocational or Trade (Vocational or trade schools shall be limited to training for skilled career fields in which such career would be an allowed use type or activity in the underlying zoning district of the school.)

Healthcare Facilities

As defined and permitted by this PD.

Food and Beverage Services

- Bar and Lounge
- Microbrewery, Cidery, Distillery, or Winery
- Restaurant
- Drive-through Fast Serve Restaurant and Coffee Shop

Office, Business, and Professional Services

- Administrative, Professional, and Government Office

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- Automated Teller Machine
- Financial Institution with Drive Through

Personal Services

- Laundry Facility, Commercial
- Laundry Facility, Self-Service
- Personal Services, General
- Personal Instruction or Studio

Retail Sales

- Building Materials and Supply Store
- General Retail, 10,000 Square Feet or Less
- General Retail, More than 10,000 Square Feet
- Nursery or Garden Supply Store

Lodging Facilities

- Hotel/Motel

Transportation, Vehicles, and Equipment

- Automotive Fuel Sales
- Automotive Repair, Minor

USE BY SPECIAL REVIEW REQUIRED

- Automotive repair – Major
- Automotive Sales and Leasing, Light
- Public Utility – major
- Funeral Facility
- Kennel - Commercial
- Outdoor Commercial Recreation
- Car Wash
- School, Public or Private

ACCESSORY USES

- Outdoor sales and display per Use Specific Standards
- Electric Vehicle Charging station
- Storage as outlined in Section 13.05.050 (d)(8) of the Parker LDO.

USE SPECIFIC STANDARDS

1. Outdoor Sales and Display

Outdoor commercial display shall meet the following minimum requirements:

- a. This Section 13.05.050(d)(7) shall not be used to circumvent the requirements of Section 13.05.060 *Temporary Uses and structures*.
- b. Outdoor commercial display shall only be considered as part of an approved Site Plan.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- c. Outdoor commercial display shall not comprise more than twenty-five (25) percent of the building footprint of the principal building and shall not exceed fifty (50) percent of any building facade, as shown on the approved Site Plan.
- b. Outdoor commercial display areas shall comply with the Development Design Standards and shall be delineated on the Site Plan during the application review. Such areas may require fencing.
- e. Outdoor commercial display activities shall be conducted so as to assure that the sidewalk or entrance into the principal building is not obstructed and that a minimum width of eight (8) feet shall be continuously maintained on the sidewalk or entrance into the principal building to allow for pedestrian access.
- f. Outdoor commercial display shall not be located within the parking area for the principal building as shown on an approved Site Plan, unless the amount of parking provided exceeds the Town's current parking requirements for that use type.
- g. The use of semi-trailers, shipping containers, or temporary buildings shall not be permitted unless otherwise approved as part of a Use by Special Review or Temporary Use Permit.
- h. All signage shall comply with [Chapter 13.09, Sign Code](#).
- i. These standards shall be interpreted and applied so as not to conflict with federal, state, or local governmental requirements, including, but not limited to, the International Building Code, Department of Health, or Fire District standards

2. Kennel, Commercial

- a. All commercial kennels shall provide pet relief areas that do not interfere with any public right-of-way, easement, shared access, walkway, or other service area.
- b. In all zoning districts where commercial kennels are permitted, outdoor facilities are only permitted if:
 - 1. Such facilities are not closer than 150 feet from any residentially zoned property line, and 50 feet from any other property line;
 - 2. Adequate shelter from the elements is provided, including proper ventilation, heating, cooling, and lighting;
 - 3. Such facilities are only used between the hours of 7:00 a.m. and 7:00 p.m.;
 - 4. Such facilities are screened by a fence or wall at least six feet in height; and
 - 5. The property is maintained to the standards required by the Tri-County Health Department and other state and federal regulating agencies.
- c. Commercial kennels shall comply with the standards in the Light-Industrial Conservation Overlay pursuant to 13.04.200(b).

3. Auto Services, Gas Stations and Car Washes

Auto services, gas stations, and car washes site planning and design are subject to design standards for auto service, gas station, and car wash uses as detailed in this Development Guide.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

DEVELOPMENT STANDARDS

All property in the Neighborhood Commercial District shall be developed in accordance with the following standards:

Lot Standards

Lot Size Minimum	None
Lot width Minimum	None

Height (Maximum)

Building Height	45-feet
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Setbacks See Exhibit A – Setback Table for All Planning Areas

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

MIXED USE – (MU)

MULTIFAMILY / COMMERCIAL ALTERNATIVE
Planning Areas 8 and 16

INTENT

The Mixed Use – Multifamily/Commercial Alternative – Planning Area provides for the opportunity to offer flexibility with the land planning and site development within a defined framework of excellence. The planning area can be developed with residential uses with supporting retail, office, and commercial uses or development can be limited to either residential or commercial uses. The flexibility in land uses provides the framework to combine supporting uses in a dynamic neighborhood and allows development to respond to changing market conditions. The development standards will help ensure quality improvements in the Town of Parker.

The land uses allow housing to be combined with supporting retail and commercial uses to provide a sustainable mixed-use environment. The mix of housing, retail, office, and commercial uses supports the Town of Parker’s goals and intent for the development of the E-470 corridor. The mixed use, alternative, planning areas will help build a community in the Town of Parker where you can *live, work, shop, and play*.

All non-residential structures, regardless of intended use, shall comply with the *Commercial design standards outlined within the Town of Parker Development Design Standards*, referenced within Section 13.01.050 (e) of the Parker Municipal Code, as amended, unless otherwise stated in these standards.

DEVELOPMENT PROGRAM

The design intent is to create a neighborhood with a pedestrian environment. Walks will connect to the regional trail systems along Chambers Road and Happy Canyon Creek. Commercial developments permitted with residential uses are limited to services that will support the residential neighborhood and the Compark Village. The Development Standards for the multifamily and mixed use alternative land uses are programmed to achieve a mixed use development where commercial, retail, and multifamily residential developments can complement each other.

MIXED USE ALTERNATIVE

The multifamily and mixed-use development standards apply in the event multifamily uses are developed. If residential land uses are developed in the Mixed-Use planning area, support retail, commercial and services will be limited to principal uses that are compatible with the residential neighborhood. Once residential development is introduced, specific development standards will apply to non-residential development. If residential uses are not developed in a mixed-use planning area, a list of additional permitted uses and the design standards for non-residential uses apply.

RESIDENTIAL LAND USES PERMITTED BY RIGHT

The multifamily land use should promote a pedestrian environment. A traditional design theme that creates pedestrian-friendly streets, screened parking areas, and public outdoor spaces is encouraged. Warehousing, big box, the uses, and similar non-residential uses are not allowed.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Parking areas should be dispersed to promote a pedestrian oriented, neighborhood character. Building frontages are encouraged to be street oriented to promote an urban environment. The design standards provide criteria for providing the appropriate environment.

The permitted uses for residential only development include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Residential Land Uses

- Dormitories
- Duplex (PA 8 Only)
- Mixed use residential
- Multiple family dwellings
- Residential above first floor retail/commercial/office
- Multiple family apartments (PA 16 only)
- Single family detached (PA 16 only)

Supporting Land Uses

- Open space
- Playground with play structures
- Public plazas, courts and gathering spaces
- Recreation center – club house for private use to serve the residential development
- Schools- private or public, K-12, colleges or university, and trade with related facilities
- Swimming pool
- Trails for bikes, pedestrian & equestrian use

COMMERCIAL LAND USES PERMITTED BY RIGHT IN SUPPORT OF RESIDENTIAL

Where commercial development is combined with residential uses, the commercial and residential uses may be located in the same building or on adjacent lots. First-floor retail with upper floor residential or office is permitted and encouraged but not required. Residential uses may be developed on a public or private street with permitted commercial uses on the opposing side of the street provided a pedestrian environment is provided. The intent is to create the opportunity to develop a sustainable, active neighborhood where the commercial uses provide products, services, and employment opportunities to the residential community and the residential uses provide consumers and employees to the commercial uses.

The non-residential land uses permitted to support residential development include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Retail, Commercial, and Office

- Convenience retail with or without gas pumps
- Drug store

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- Grocery store
- Liquor store
- Medical and dental office, clinic and related medical facilities
- Office/professional, accounting, law, consulting
- Office for research and development, experimental and testing
- Retail sales less than 40,000 sq. ft. per user including the following:
 - retail sales
 - retail showroom
 - specialty shop

Restaurants Eating Establishments and Entertainment

- Bar and lounge
- Bowling alley, pool hall
- Night club
- Quick serve with and without drive through
- Restaurant, full service

Services

- Athletic club – private/public
- Bank with and without drive through
- Commercial recreation
- Day care center, nursery school
- Dry cleaners
- Library
- Personal service shops:
beauty parlor, barber shops
- School – private and public, including college and universities with related facilities
- Veterinary clinic, animal hospital, no outside kennels

Supporting Land Uses

- Continuing care facility, convalescent home, nursing home and retirement home
- Fire station
- Recreation facility, indoor/outdoor, public/private - no motorized vehicles or bmx tracks

USE BY SPECIAL REVIEW REQUIRED – WITH RESIDENTIAL USES

- Retail sales greater than 40,000 sq. ft. per user

COMMERCIAL LAND USES PERMITTED BY RIGHT WITHOUT RESIDENTIAL USES

The following uses are permitted by right in addition to the non-residential uses listed above when residential uses are NOT developed:

- Retail, Commercial, and Office – (without residential uses)
- Equipment rental – less than 30,000 sf.; outdoor storage by special review
- Office warehouse or showroom warehouse hardware store/home repairs
- Retail sale of any product or commodity including the following:

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- Grocery store
- Auto and motor vehicle equipment parts and accessories specialty shop
- Retail showroom
- Office showroom
- Sod and tree farm
- Wholesale business/general merchandising

Auto Services, Gas Stations and Car Washes

Auto services, gas stations, and car washes are limited to specific sub-areas in PA 8 as delineated on the Development Plan. Site planning and design are subject to design standards for auto service, gas station, and car wash uses as detailed in this Development Guide.

Permitted auto service, gas station and car wash uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Auto Related Services -- Subject To Auto Related Design Standards

- Auto and motor vehicle equipment parts, accessory store and tire sales
- Auto major repair services and tire sales
- Car wash, detailing, coin operated, self-service
- Service station with and without gas pumps; convenience store with gas pumps and/or car wash
- Gas station, with and without car wash
- Service station with and without tire sales and service, with and without gas pumps

USE BY SPECIAL REVIEW REQUIRED – WITHOUT RESIDENTIAL USES

- Movie theater
- Outdoor storage loading and service areas provided:
 - Outdoor storage does not exceed 20% of the total land area of the development parcel
 - Major loading, service areas and outdoor storage are screened from collector roads
 - Placement of structures along the open space may be used to screen outdoor storage from the adjacent open space and residential planning area

DEVELOPMENT STANDARDS WITH AND WITHOUT RESIDENTIAL USES

Density

Residential uses

- Not to exceed 30 dwelling units per acre on any single lot
- Maximum number of dwelling units in:

PA 8 shall not exceed 306 DU

COMPARK VILLAGE PD –EIGHTH AMENDMENT

PA 16 shall not exceed 300 DU

Continuing care facilities and assisted living facilities are not included in dwelling unit calculations but shall be included in the gross floor area tabulation.

Auto Services, Gas Stations, and Car Washes

- Limited to one approved auto service, gas station, or car wash user per planning area as delineated on the Development Plan.
- Not more than three users from the approved list of auto service, gas station, or car wash users permitted within the limits of the Compark Village PD, Eighth Amendment. (See the Development Plan Land Use Tabulation for details).
- Not more than 5 fueling islands (2 pumping stations per island) per use.
- Not more than one car wash lane as a stand-alone facility or attached to a complementary use.

Building Height

Residential and commercial uses

Maximum building height per planning area:

- PA 8 - 35-feet, (45-feet permitted by special review)
not including roof-top mechanical equipment
all rooftop equipment shall be screened, solar panels excepted.
- PA 16 – 60-feet (90-feet permitted by special review)

Minimum Lot Area

None

Setbacks See Exhibit A – Setback Table for All Planning Areas

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

HIGHWAY COMMERCIAL (HC)

Planning Area 7

INTENT

The Highway Commercial Planning Area is expected to attract users that will benefit from direct access and visibility from the E-470 / Chambers Road interchange and from dramatic, uninterrupted views of the Front Range. The intent of the Highway Commercial planning area is to promote the combination of retail and commercial uses with an active neighborhood character.

DEVELOPMENT PROGRAM

The development program is to attract uses that are complementary and supportive of the Compark Business Campus, surrounding residential neighborhoods, and the Town of Parker. The goal is to provide destination retail and commercial uses as a recognized landmark along the E-470 corridor. The program promotes a pedestrian environment. The surrounding residential neighborhoods and direct access from E-470 will support the local retail development.

All non-residential structures, regardless of intended use, shall comply with the *Commercial design standards outlined within the Town of Parker Development Design Standards*, referenced within Section 13.01.050 (e) of the Parke Municipal Code, as amended.

LAND USES PERMITTED BY RIGHT

The permitted uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

COMMERCIAL LAND USES PERMITTED BY RIGHT

The following uses are permitted by right.

Retail and Commercial Land Uses

- Retail, commercial, and office
- Equipment rental – less than 30,000 sf.; outdoor storage by special review
- Office warehouse or showroom warehouse hardware store/home repairs
- Retail sale of any product or commodity including the following:
- Grocery store auto and motor vehicle equipment parts and accessories
- Specialty shop
- Retail showroom
- Office showroom
- Wholesale business/general merchandising
- Convenience retail without gas pump
- Drug store
- Hotel, motel, conference center
- Liquor store
- Office professional, accounting, law, consulting
- Retail sale of any product or commodity including the following:
 - auto and motor vehicle equipment parts and accessories
 - grocery store
 - big box retail with screened outdoor display and storage

COMPARK VILLAGE PD –EIGHTH AMENDMENT

not including the sale of motorized vehicles that require outdoor on-site storage of motorized vehicles.

- Retail showroom
- Specialty shops

Restaurants including quick serve, and drive through

- Bar and lounge
- Bowling alley, pool hall
- Fast food with drive through
- Night club
- Quick serve with and without drive through
- Restaurant, full service

Services

- Athletic club – private/public
- Bank with and without drive through
- Day care center, nursery school
- Dry cleaners
- Funeral home/mortuary
- Hospital
- Medical/dental office or clinic
- Movie theater
- Personal service shops
- Beauty parlor, barber shops
- School – private and public, including college and universities with related facilities
- Veterinary clinic, small animal hospital, no outside kennels or runs
- Vineyard in support of local wineries

Supporting Land Uses

- Commercial recreation, no outdoor motorized vehicles, no BMX tracks
- Community information center
- Continuing care facility, convalescent home, nursing home, assisted living and retirement home
- Fire station
- Library
- Open space
- Playground with play structures
- Police station
- Public plazas, courts and gathering spaces
- Recreation facility, indoor/outdoor, public & private; no BMX or motorized vehicles

Auto Services, Gas Stations and Car Washes

Auto services, gas stations, and car washes are limited to a specific sub-area in PA 7 as delineated on the Development Plan. Site planning and design are subject to design standards for auto service, gas station, and car wash uses as detailed in this Development Guide.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Permitted auto service, gas station, and car wash uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Auto related services -- subject to auto related design standards

- Auto and motor vehicle equipment parts, accessory store and tire sales
- Auto major repair services and tire sales
- Car wash, detailing, coin operated, self-service
- Service station with and without gas pumps
- Convenience store with gas pumps and/or car wash
- Gas station, with and without car wash
- Service station with and without tire sales and service, with and without gas pumps

DEVELOPMENT STANDARDS

Density

Auto Services, Gas Stations, and Car Washes

- Limited to one approved auto service, gas station, or car wash user per planning area as delineated on the Development Plan
- Not more than three users from the approved list of auto service, gas station, or car wash users permitted within the limits of the Compark Village PD, Eighth Amendment. See the Development Plan Land Use Tabulation for details
- Not more than 5 fueling islands (2 pumping stations per island) per use
- Not more than one car wash lane as a stand-alone facility or attached to a complementary use

Building Height

Retail use

All retail, office, and commercial uses: 75 feet
Permitted by special review: 90 feet

Minimum Lot Area

None

Setbacks See Exhibit A - Setback Chart for all Planning Areas

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

COMMERCIAL RETAIL (CR)

Planning Areas 3, 9, and 10

INTENT

The Commercial Retail planning areas are expected to attract users and residents that will benefit from direct access and visibility from Chambers Road and Compark Boulevard. The intent of the Commercial Retail planning area is to promote the combination of retail commercial uses that will support an active neighborhood character.

DEVELOPMENT PROGRAM

The development program is to attract uses that are complementary and supportive of the Compark Business Campus, surrounding residential neighborhoods, and the Town of Parker. The goal is to provide retail uses as a recognized landmark within The Compark Business Campus. The program promotes a pedestrian environment. The surrounding residential neighborhoods, commercial development, and direct access from E-470 are intended to support the local retail development.

All non-residential structures, regardless of intended use, shall comply with the *Commercial design standards outlined within the Town of Parker Development Design Standards*, referenced within Section 13.01.050 (e) of the Parker Municipal Code, as amended.

LAND USES PERMITTED BY RIGHT

The permitted uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Retail and Commercial Land Uses

- Convenience retail with and without gas pump; (gas pumps in PA 9 & 10 only)
- Drug store
- Hotel, motel, conference center
- Liquor store
- Office professional, accounting, law, consulting
- Retail sale of any product or commodity including the following:
 - auto and motor vehicle equipment parts and accessories
 - grocery store
 - not including the sale of motorized vehicles that require outdoor on-site storage of motorized vehicles
- Retail showroom
- Specialty shops

Restaurants including quick serve, and drive through

- Bar and lounge
- Bowling alley, pool hall
- Fast food with drive through
- Night club
- Quick serve with and without drive through
- Restaurant, full service

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Services

- Athletic club – private/public
- Bank with and without drive through
- Day care center, nursery school
- Dry cleaners
- Funeral home/mortuary
- Hospital
- Medical/dental office or clinic
- Movie theater
- Personal service shops
- Beauty parlor, barber shops
- School – private and public, including college and universities with related facilities
- Veterinary clinic, small animal hospital, no outside kennels or runs
- Vineyard in support of local wineries

Supporting Land Uses

- Commercial recreation, no outdoor motorized vehicles, no BMX tracks
- Community information center
- Continuing care facility, convalescent home, nursing home, assisted living and retirement home
- Library
- Open space
- Playground with play structures
- Public plazas, courts and gathering spaces
- Recreation facility, indoor/outdoor, public & private; no BMX or motorized vehicles

Data Center Overlay Use

The Data Center land use is limited to designated areas in the Business Employment and to a limited extent, as set forth in the sentence below, in the Commercial Retail planning areas as delineated as an Overlay on the Development Plan. The Data Center Overlay use in the Commercial Retail Planning Area can only be a permitted use when developed in combination with an adjacent Business Employment Planning Area.

Auto Services, Gas Stations and Car Washes

Auto services, gas stations, and car washes are limited to specific sub-areas in PA-9 and 10 as delineated on the Development Plan. Site planning and design are subject to design standards for auto service, gas station, and car wash uses as detailed in this Development Guide.

Permitted auto service, gas station and car wash uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Auto related services -- subject to auto related design standards

- Auto and motor vehicle equipment parts, accessory store and tire sales
- Auto major repair services and tire sales
- Car wash, detailing, coin operated, self-service service station with and without gas pumps

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- Convenience store with gas pumps and/or car wash
- Gas station, with and without car wash
- Service station with and without tire sales and service, with and without gas pumps

DEVELOPMENT STANDARDS

Density

Auto Services, Gas Stations, and Car Washes

- Limited to one approved auto service, gas station, or car wash user per planning area as delineated on the Development Plan
- Not more than three users from the approved list of auto service, gas station, or car wash users permitted within the limits of the Compark Village PD.
- See the Development Plan Land Use tabulation for details.
- No more than 5 fueling islands (2 pumping stations per island) per user.

Building Height

- **Retail Use**
All retail, office, and commercial uses: 60-feet
Permitted by special review: 75-feet

Minimum Lot Area

None

Setbacks See Exhibit A - Setback Chart for all Planning Areas

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Office Employment (OE)

Planning Area 14

INTENT

The Office Employment Planning Area is intended to accommodate employment centers with an emphasis on office and office-supporting uses, including service uses. Office Employment will offer conventional office and employment uses, and as a supplement to said uses, may also include light assembly, indoor storage and distribution of goods, wares, and merchandise.

The OE District will provide the framework to combine supporting uses in an area located between the E-470 highway and Belford Avenue thereby providing a transition in land uses from the highway to the residential uses on the south side of Belford Avenue.

DEVELOPMENT STANDARDS

All non-residential structures, regardless of intended use, shall comply with the commercial design standards outlined within the *Town of Parker Development Design Standards*, referenced within Section 13.01.050 (e) of the Parker Municipal Code, as amended, unless otherwise stated in the Design Standards of this PD Guide.

Within the OE District all office and retail components of any structure adjacent to Belford Avenue shall front or face Belford Avenue. Back of house, including but not limited to bay doors, trash enclosures and storage components of the building shall be located on the north side of the structure not visible to Belford Avenue.

LAND USES PERMITTED BY RIGHT

The permitted uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Use Specific Standards shall apply as specified in the Town of Parker Land Development Ordinance (LDO).

Community and Cultural Facilities

- Park
- Open Space
- Day Care, Commercial (Less than 10,000 square feet)
- Public Service facility
- Community Facility
- Religious Assembly

Educational Facility

- School, Vocational or Trade (Vocational or trade schools shall be limited to training for skilled career fields in which such career would be an allowed use type or activity in the underlying zoning district of the school.)
- School, College or University

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Healthcare Facilities

As defined and permitted by this PD.

Agricultural and Animal Uses

Veterinary Clinic and Hospital

Recreation and Entertainment

- Indoor Recreation Facility

Food and Beverage Services

- Bar and Lounge
- Microbrewery, Cidery, Distillery, or Winery
- Restaurant
- Drive-through Fast Serve Restaurant and Coffee Shop

Office, Business, and Professional Services

- Administrative, Professional, and Government Office
- Automated Teller Machine
- Financial Institution with Drive Through

Employment – Flex

The Employment Flex permitted use is a combination of office space with associated research, production or assembly, and distribution of goods to the consumer. Uses shall operate with minimal exterior dust, fumes, odors, refuse, smoke, vapor, noise, and vibrations.

- Research and Development, including research, synthesis, analysis, development and testing laboratories, and may include fabrication, assembly, mixing and preparation of equipment and components incident or convenient or necessary to the conduct of such activities.
- Light Assembly of products from previously prepared materials, finished products or parts, including processing, fabrication, treatment, and packaging of such products, and incidental sales, storage and distribution of such products, that do not create excessive exterior noise, smoke, fumes, odors, glare, or health and safety issues and are housed entirely within a building.
- Makerspaces, such as artisans, caterers, commercial kitchens, book binders and other makers.
- Scientific and other research and prototype production.
- Indoor contractors' offices, including office space with storage. (Indoor Storage shall follow the Town LDO).
- Establishments engaged in the wholesaling and indoor storage of goods for the movement of goods for themselves, others or the final consumer. (Indoor Storage shall follow the Town LDO).
- Manufacturing of electronic and other equipment.
- Pharmaceutical, medical device and other medical related research and manufacturing.
- Office uses in combination with any other permitted use.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Personal Services

- Personal Instruction or Studio
- Personal Services, General

Retail Sales

- Building Materials and Supply Store
- General Retail, 10,000 Square Feet or Less
- General Retail, More than 10,000 Square Feet
- Nursery or Garden Supply Store

Lodging Facilities

Hotel/Motel

Transportation, Vehicles, and Equipment

- Automotive Fuel Sales
- Automotive Repair, Minor
- Automotive Sales and Leasing, Light
- Transit Terminal or Station

ACCESSORY USES

- Outdoor sales and display
- Electric Vehicle Charging station
- Drive Through Facility
- Storage as outlined in Section 13.05.050 (d)(8) of the Parker LDO.

USE BY SPECIAL REVIEW REQUIRED

- School, Public or Private
- Automotive repair – Major
- Public Utility – major
- Car wash

USE SPECIFIC STANDARDS

1. Kennel, commercial

- a. All commercial kennels shall provide pet relief areas that do not interfere with any public right-of-way, easement, shared access, walkway, or other service area.
- b. In all zoning districts where commercial kennels are permitted, outdoor facilities are only permitted if:

COMPARK VILLAGE PD –EIGHTH AMENDMENT

1. Such facilities are not closer than 150 feet from any residentially zoned property line, and 50 feet from any other property line;
 2. Adequate shelter from the elements is provided, including proper ventilation, heating, cooling, and lighting;
 3. Such facilities are only used between the hours of 7:00 a.m. and 7:00 p.m.;
 4. Such facilities are screened by a fence or wall at least six feet in height; and
 5. The property is maintained to the standards required by the Tri-County Health Department and other state and federal regulating agencies.
- c. Commercial kennels shall comply with the standards in the Light-Industrial Conservation Overlay pursuant to the Town of Parker LDO.

2. Outdoor Sales and Display

Outdoor commercial display shall meet the following minimum requirements:

- a. This Section 13.05.050(d)(7) shall not be used to circumvent the requirements of Section 13.05.060 *Temporary Uses and structures*.
- b. Outdoor commercial display shall only be considered as part of an approved Site Plan.
- c. Outdoor commercial display shall not comprise more than twenty-five (25) percent of the building footprint of the principal building and shall not exceed fifty (50) percent of any building facade, as shown on the approved Site Plan.
- c. Outdoor commercial display areas shall comply with the Development Design Standards and shall be delineated on the Site Plan during the application review. Such areas may require fencing.
- e. Outdoor commercial display activities shall be conducted so as to assure that the sidewalk or entrance into the principal building is not obstructed and that a minimum width of eight (8) feet shall be continuously maintained on the sidewalk or entrance into the principal building to allow for pedestrian access.
- f. Outdoor commercial display shall not be located within the parking area for the principal building as shown on an approved Site Plan, unless the amount of parking provided exceeds the Town's current parking requirements for that use type.
- g. The use of semi-trailers, shipping containers, or temporary buildings shall not be permitted unless otherwise approved as part of a Use by Special Review or Temporary Use Permit.
- h. All signage shall comply with [Chapter 13.09, Sign Code](#).
- i. These standards shall be interpreted and applied so as not to conflict with federal, state, or local governmental requirements, including, but not limited to, the International Building Code, Department of Health, or Fire District Standards.

3. Auto Services, Gas Stations and Car Washes

Auto services, gas stations, and car washes site planning and design are subject to design standards for auto service, gas station, and car wash uses as detailed in this Development Guide.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

DEVELOPMENT STANDARDS

Lot Standards

Lot Size Minimum	None
Lot width Minimum	None

<u>Building Height</u>	60-feet
Within 100 feet of Belford Avenue	45-feet

Setbacks See Exhibit A – Setback Table for All Planning Areas

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Light Industrial Flex (LIF)

Planning Area 13

INTENT

The Light Industrial Flex Planning Area is intended to accommodate a mix of employment uses with an emphasis on light industrial uses and supporting office, retail, and service uses. The LIF district can accommodate a variety of large-scale employment and industrial developments along the E-470 corridor, and other areas appropriate for employment. Uses within the LIF district are intended to be low impact in nature and are not intended to cause fumes, odor, noise, vibration, or other nuisance or adverse impacts that are detrimental to adjacent properties or land uses.

DEVELOPMENT STANDARDS

All non-residential structures, regardless of intended use, shall comply with the commercial design standards outlined within the *Town of Parker Development Design Standards*, referenced within Section 13.01.050 (e) of the Parker Municipal Code, as amended, unless otherwise stated in these standards.

LAND USES PERMITTED BY RIGHT

The permitted uses include the following and other uses that are similar and compatible with the intent of this section as determined by the Community Development Director.

Use Specific Standards shall apply as specified in the Town of Parker Land Development Ordinance (LDO).

Group Living

Continuing care facility including assisted living facilities

Community and Cultural Facilities

- Park
- Open Space
- Public Service facility
- Community Facility

Educational Facility

- School, Vocational or Trade (Vocational or trade schools shall be limited to training for skilled career fields in which such career would be an allowed use type or activity in the underlying zoning district of the school.)
- School, Public or Private
- School, College or University

Healthcare Facilities

As defined and permitted by this PD.

Agricultural and Animal Uses

Veterinary Clinic and Hospital

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Recreation and Entertainment

- Indoor Recreation Facility
- Outdoor Recreation Facility

Food and Beverage Services

- Microbrewery, Cidery, Distillery, or Winery
- Restaurant, with or without drive-through
- Bar and Lounge

Office, Business, and Professional Services

- Administrative, Professional, and Government Office
- Automated Teller Machine
- Financial Institution with Drive Through
- Research and Development

Personal Services

- Personal Instruction or Studio
- Personal Services, General
- Laundry Facility – Commercial

Retail Sales

- Building Materials and Supply Store
- General Retail, 10,000 Square Feet or Less
- General Retail, More than 10,000 Square Feet
- Nursery or Garden Supply Store

Lodging Facilities

Hotel/Motel

Transportation, Vehicles, and Equipment

- Auto Fuel Sales
- Automotive Repair, Minor
- Automotive Repair, Major
- Auto Sales and Leasing, Heavy
- Automotive Sales and Leasing, Light
- Recreational Vehicle Sales, Rental, and Repair
- Automotive Sales and leasing
- Heavy equipment and machinery sales, rental and repair

Industrial Uses

- Food and Beverage Processing
- Light Industrial
- Contractors Office
- Distribution Facility (Indoor Storage shall follow the Town LDO).
- Flex Office (as defined in this PD Guide)
- Light Industrial Flex (as defined in this PD Guide)

COMPARK VILLAGE PD –EIGHTH AMENDMENT

ACCESSORY USES

- Outdoor sales and display
- Electric Vehicle Charging Station
- Storage as outlined in Section 13.05.050 (d)(8) of the Parker LDO.

USE BY SPECIAL REVIEW REQUIRED

- Public Utility – major
- Kennel, Commercial
- Transit Terminal or Station
- Car Wash
- Day Care, Commercial (Less than 10,000 square feet)

USE SPECIFIC STANDARDS

1. Kennel, commercial

- a. All commercial kennels shall provide pet relief areas that do not interfere with any public right-of-way, easement, shared access, walkway, or other service area.
- b. In all zoning districts where commercial kennels are permitted, outdoor facilities are only permitted if:
 1. Such facilities are not closer than 150 feet from any residentially zoned property line, and 50 feet from any other property line;
 2. Adequate shelter from the elements is provided, including proper ventilation, heating, cooling, and lighting;
 3. Such facilities are only used between the hours of 7:00 a.m. and 7:00 p.m.;
 4. Such facilities are screened by a fence or wall at least six feet in height; and
 5. The property is maintained to the standards required by the Tri-County Health Department and other state and federal regulating agencies.
- c. Commercial kennels shall comply with the standards in the Light-Industrial Conservation Overlay pursuant to the Town of Parker LDO.

2. Outdoor Sales and Display

Outdoor commercial display shall meet the following minimum requirements:

- a. This Section 13.05.050(d)(7) shall not be used to circumvent the requirements of Section 13.05.060 *Temporary Uses and structures*.
- b. Outdoor commercial display shall only be considered as part of an approved Site Plan.
- c. Outdoor commercial display shall not comprise more than twenty-five (25) percent of the building footprint of the principal building and shall not exceed fifty (50) percent of any building facade, as shown on the approved Site Plan.
- d. Outdoor commercial display areas shall comply with the Development Design Standards and shall be delineated on the Site Plan during the application review. Such areas may require fencing.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

OPEN SPACE (OS)

INTENT

Open Space Areas are intended to provide buffer areas, passive Recreation opportunities, pedestrian corridors, drainage corridors and the conservation and improvement of wildlife habitat. The Happy Canyon Creek Open Space is intended to become an attractive addition to the Compark Village. A regional trail is part of the Happy Canyon Creek Open Space.

INCORPORATION BY REFERENCE

Section 13.04.170 - OS – Open Space District, of the Town of Parker Municipal Code, as amended, is hereby incorporated by reference in this Development Guide.

Underground utilities, waterways, ponds, water quality facilities, detention facilities, wells, and pumping stations are considered land uses permitted by right in accordance with the recorded Compark Business Campus Metropolitan District Property Conservation Easement for the Happy Canyon Creek and Green Acres Tributary Open Space tracts.

PUBLIC FACILITY (PF)

INTENT

Public Facility Areas are intended to provide land dedicated to, purchased or generally acquired by a public or quasi-public entity including but not limited to the Town, Stonegate Metropolitan District, Cottonwood Water and Sanitation District, South Metro Fire Rescue Authority, Douglas County or any additional special district or regional service authority located within the jurisdiction of the Town.

INCORPORATION BY REFERENCE

Section 13.04.80 - PF – Public Facilities District, of the Town of Parker Municipal Code, as amended, is hereby incorporated by reference into this Development Guide.

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

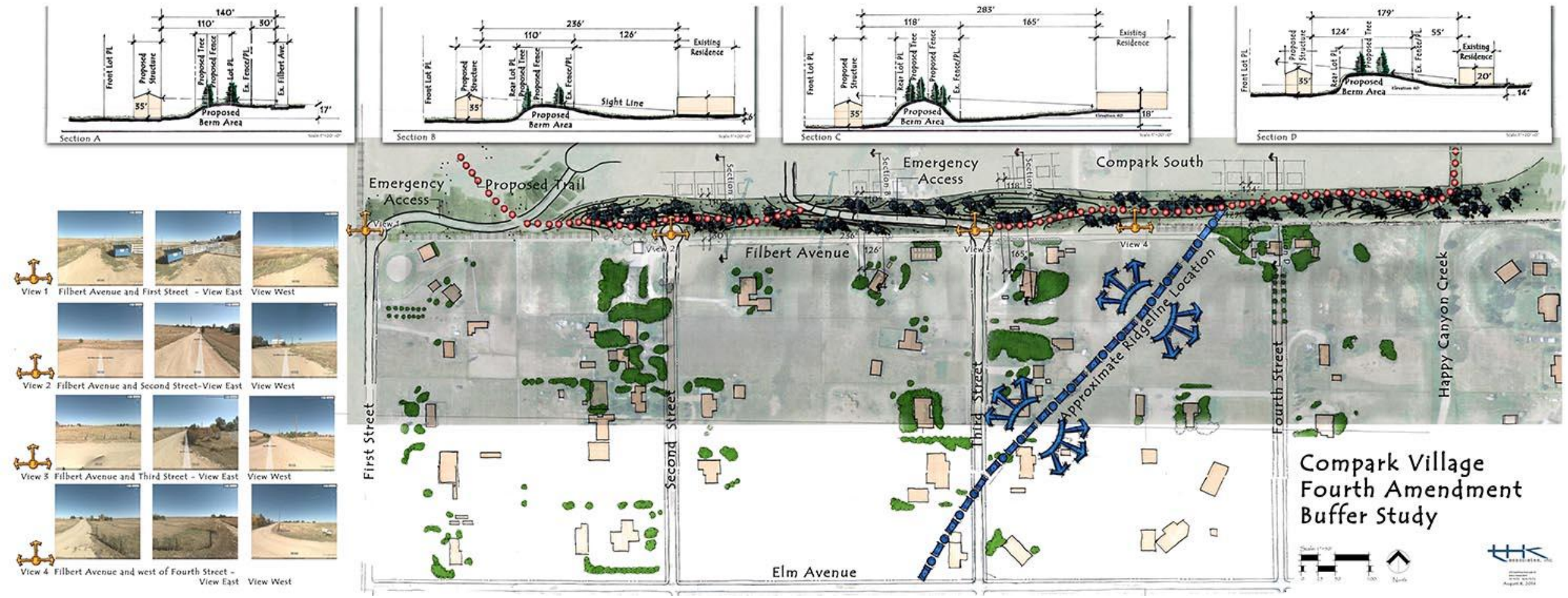
BUFFER STUDIES

Plan presented to Grandview Estate Homeowners

The berm may be supplemented with additional fences or landscape items. The berm may be constructed to continue into planning area PA 16, 17 and 18 to develop the necessary height and buffering desired. Berm areas that continue into this planning area may be altered during the platting process to accommodate builder's site requirements. The berm can be cut back to the planning area boundary. Walls, rocks, timbers or other similar materials may be used to retain this berm grade. Improvements and berm alterations shall not be visible from the Grand View Estates residents. The berm, as seen from the Grand View Estates residents shall not be altered from the originally constructed berm.



COMPARK VILLAGE PD –EIGHTH AMENDMENT

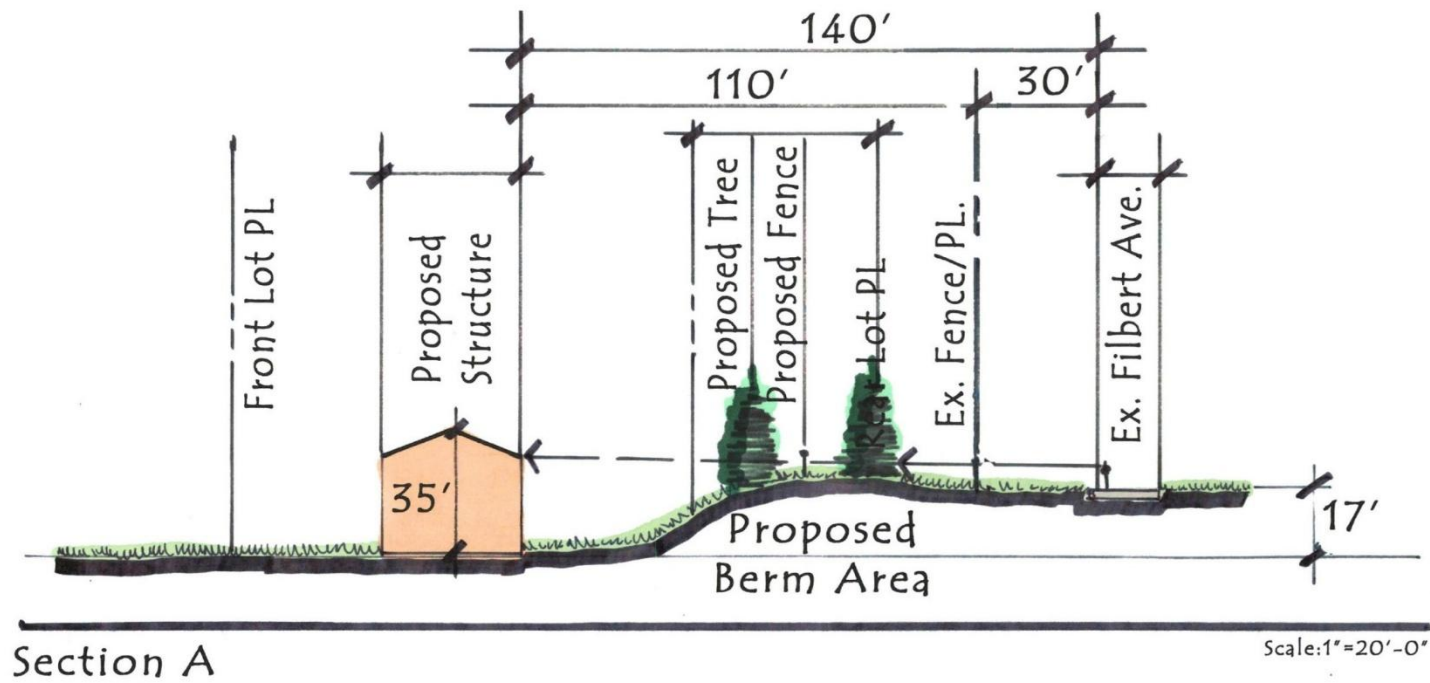
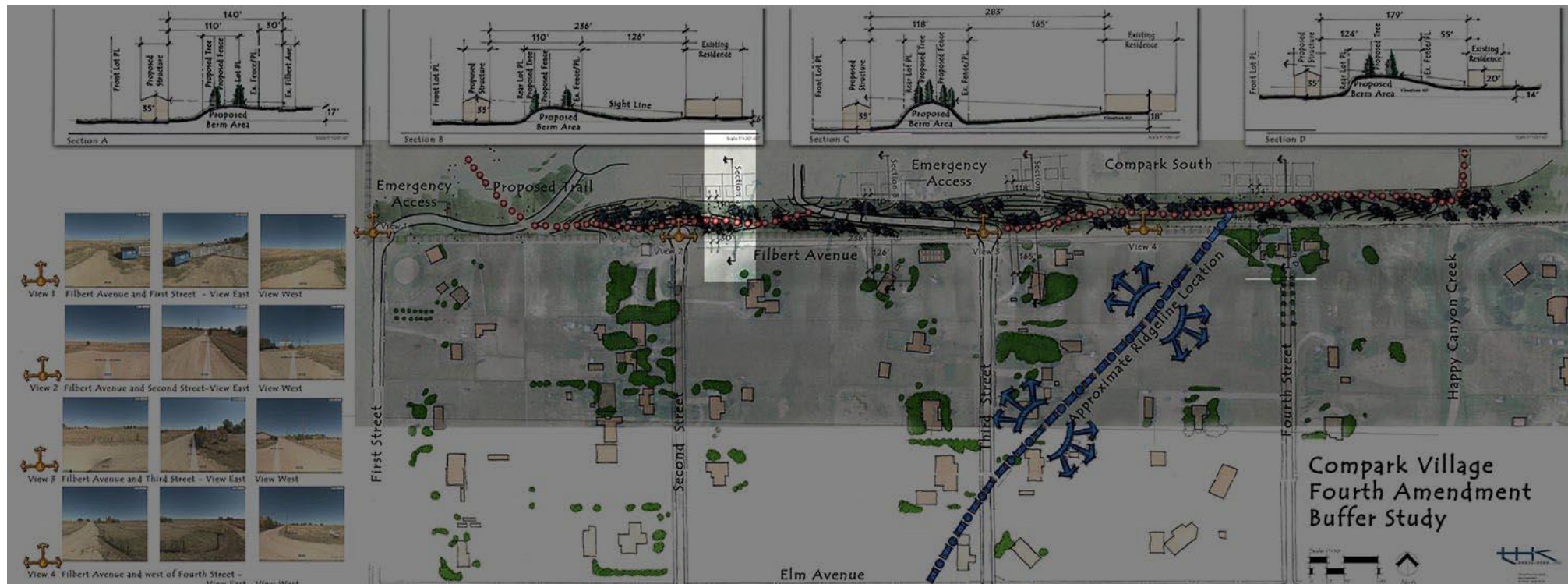


Enlargement Plan depicting Berm Buffer, buffer distances and section locations

Sections have been constructed for the berm/buffer area. Section A reflects the proposed berm/buffer just to the east of Second Street. Section B depicts the berm/buffer area between Second and Third Streets. Section C is just east of Third Street and Section D is at Fourth Street.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

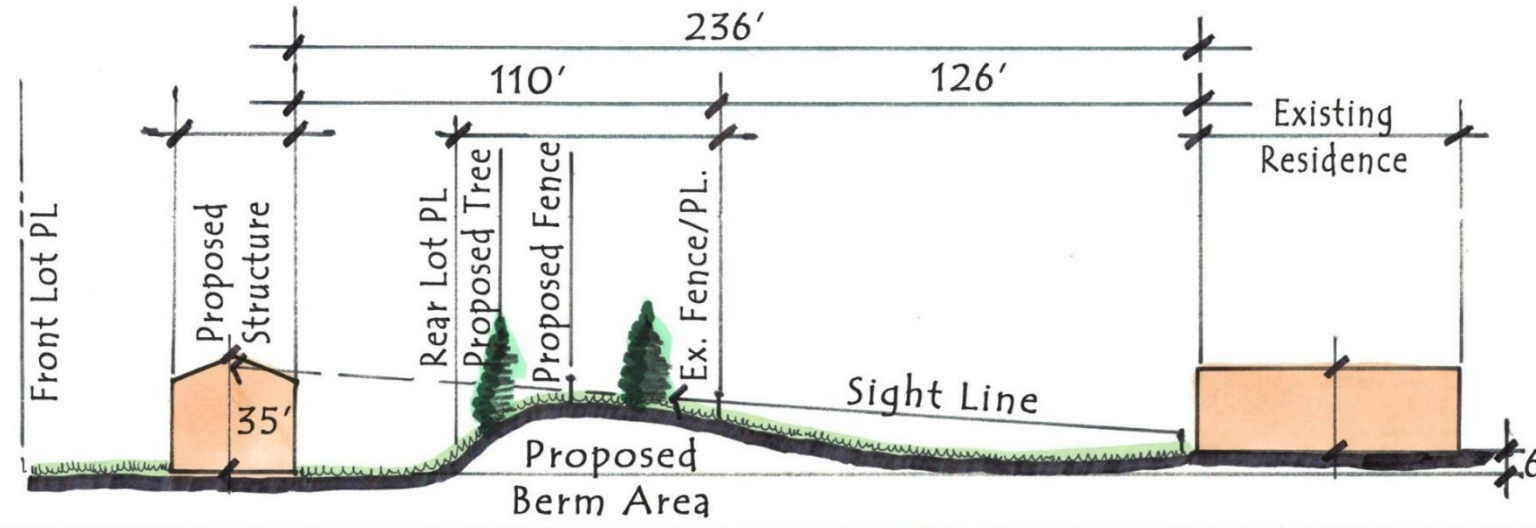
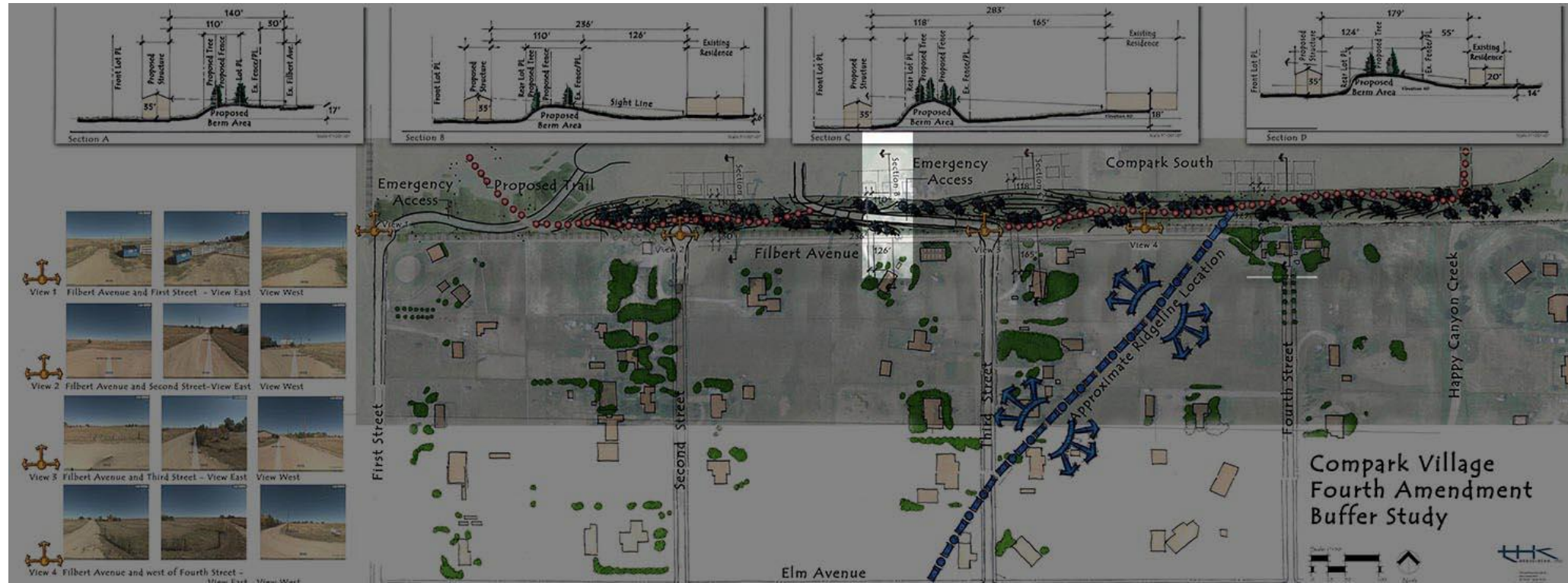
Section A Plan Location



Section A is the most westerly section that reflects the anticipated grades and berm/buffer improvements. The section depicts a 17. ± grade change from Filbert Avenue to the proposed development. The berm is approximately 3'- 5' tall in this area. Additional trees are added to help screen most of the views toward the new development.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

Section A Plan Location



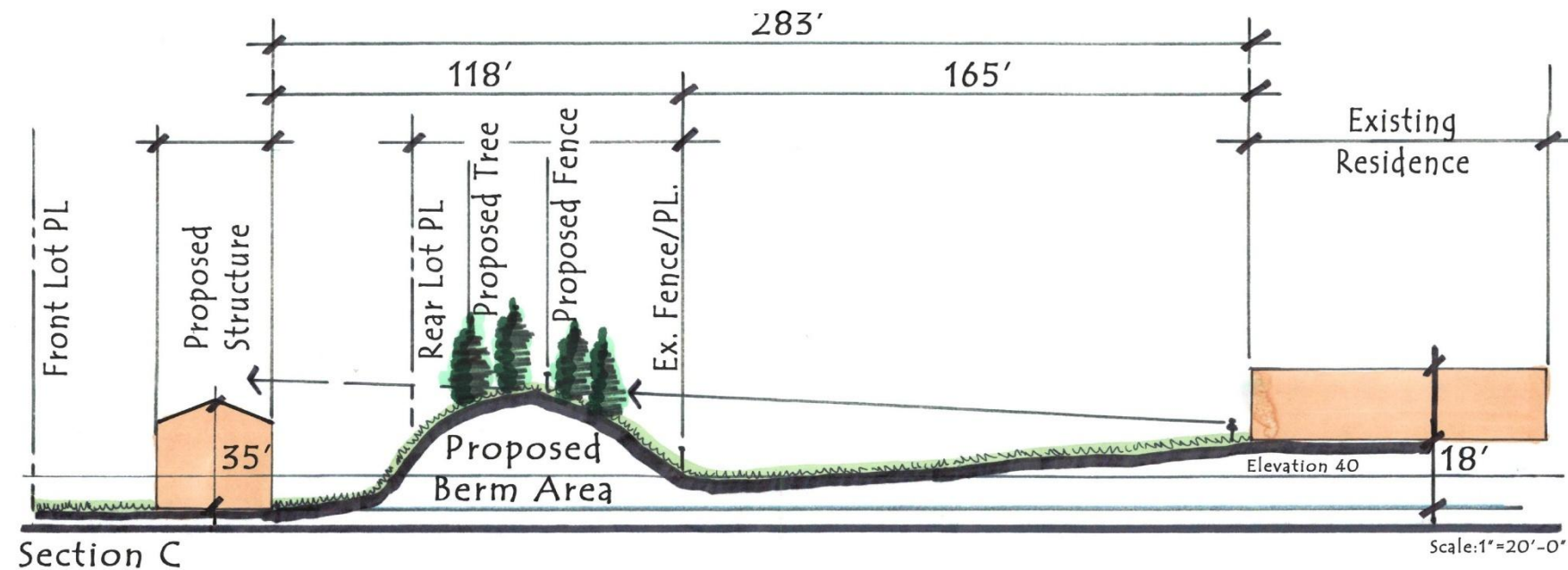
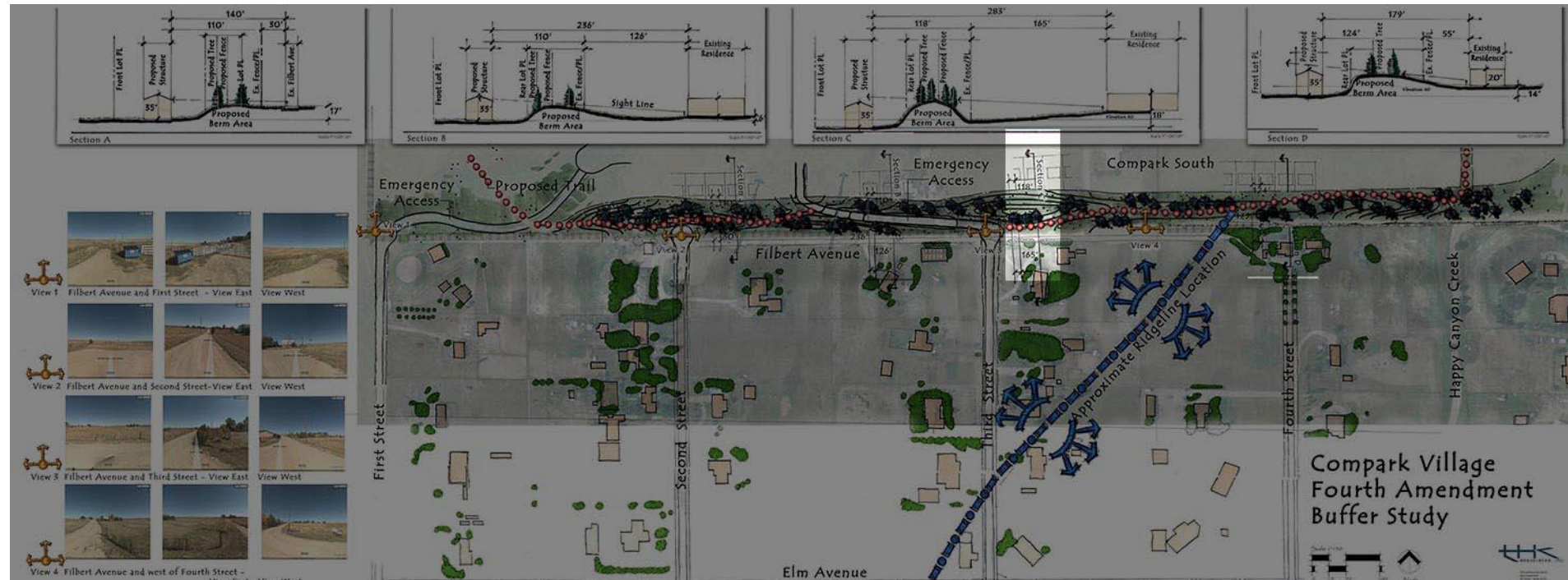
Section B

Scale: 1"=20'-0"

Section B is taken further east from Section A and represents the anticipated berm/buffer area between the existing residents and proposed development. The existing residence is separated from this development by an anticipated distance of 236' ±. A 6' - 7' ± berm helps to provide additional separation. Trees and shrubs will also help to screen views.

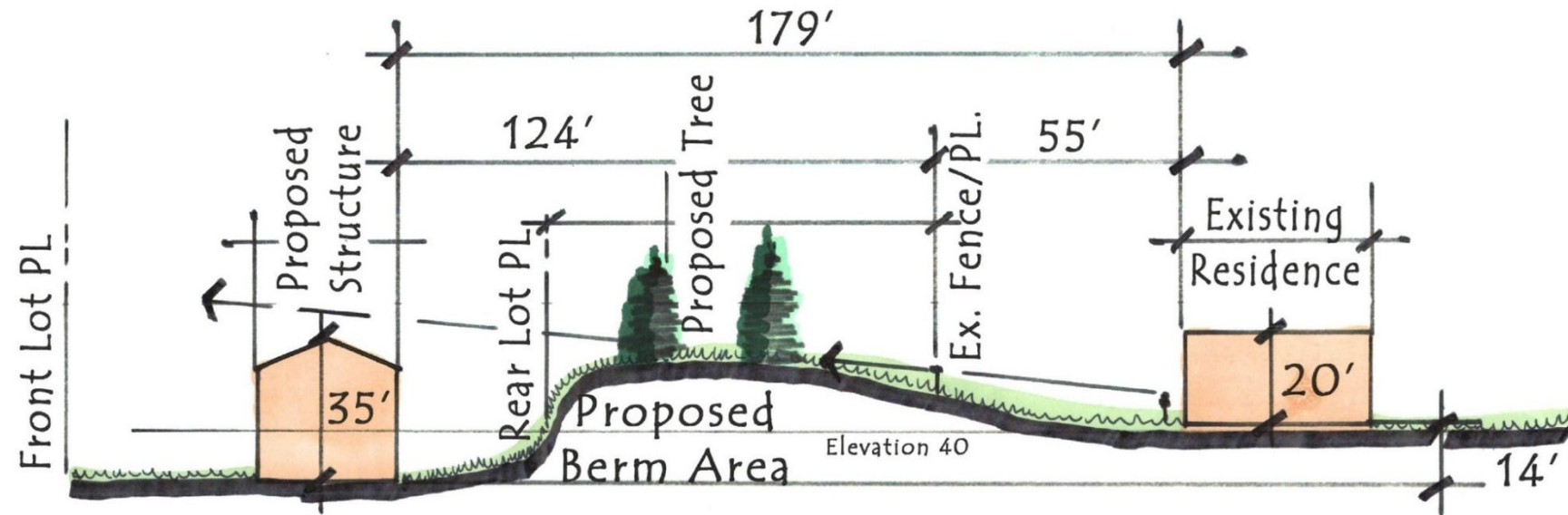
COMPARK VILLAGE PD –EIGHTH AMENDMENT

Section C Plan Location



Section C is a section representing the anticipated berm/buffer area just east of Third Street. It represents the area between the existing residence and the proposed development. The horizontal separation between these structures is 283' ± and there is an 18' ± grade difference between them. The berm height is 10' ± and extends east and west of this location.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

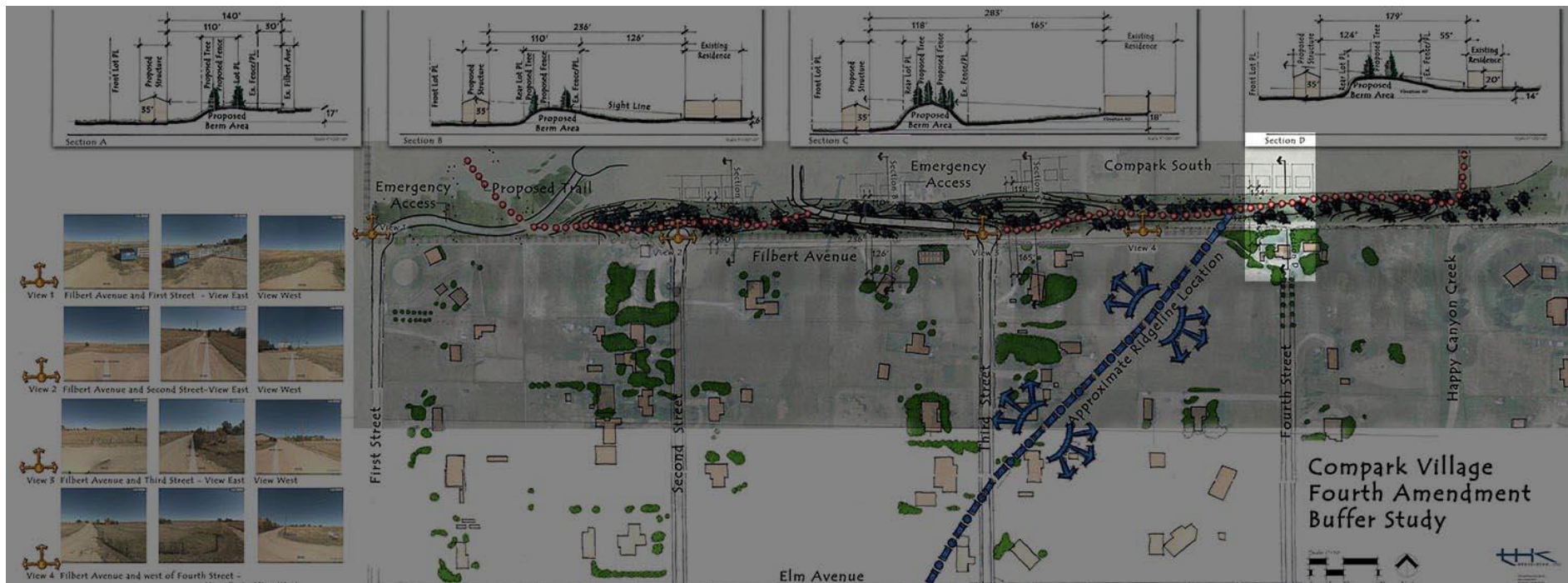


Section D

Scale: 1"=20'-0"

Section D Plan Location

Section D is the most easterly section of the anticipated berm area. It represents the condition at Fourth Street between the existing residence and the proposed development. The distance between the existing residence and the proposed development is 179'±. A 10' ± berm is anticipated with trees and shrubs. The grade difference envisioned between the existing residence and the proposed development is 14'±. The anticipated berm extends east and west of the existing residence along the entire property line associated with this residence.



COMPARK VILLAGE PD –EIGHTH AMENDMENT

FLEX OFFICE

DEVELOPMENT STANDARDS

INTENT

The intent is to provide the opportunity for Flex Office in the Compark Business Campus that will offer diversified economic development and new employment opportunities in the Town of Parker while maintaining the Town’s high quality, pedestrian oriented community.

These standards and guidelines provide criteria and guidance for the successful design, development, and operations of land uses that serve a market for attractive office with flexible space requirements and the opportunity for truck loading and service. A successful Flex Office project in the Compark Business Campus provides a public image that is complementary to its surrounding Compark Business Campus with the opportunity for loading and services that are screened from prominent view.

LAND USE

Flex Office land use is limited to designated areas in the Business Commercial planning areas as delineated on the Development Plan. The list of allowable uses is defined in the Business Commercial section of this Development Guide for Compark Village PD.

DEVELOPMENT STANDARDS

The development standards are based on the Industrial Standards that are part of *Town of Parker Development Design Standards*. Standards that are not addressed below shall follow the Town’s Industrial Standards.

GOALS AND OBJECTIVES

The primary goals for these standards are:

- To promote diversified economic development offered with high quality Flex Office and Research & Development users
- To help assure the development presents an attractive image from adjacent roadways
- To provide site development that creates a pleasant working environment
- Encourage the use of high-quality finishes, materials, and detailing appropriate to the Flex Office market in the Town of Parker

Site Design Standards – See *Town of Parker Development Design Standards*

Screening

Intent: Screening shall effectively mitigate negative visual and acoustic impacts of Flex Office uses and shall be integrated into each project’s overall site design.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- All rooftop mechanical equipment shall be screened from prominent view measured from 5' above finished grade at the property line or 5' above a public sidewalk adjacent to the property line.
- Paint all rooftop equipment the same, neutral color.
- Locate equipment on the roof so the parapet wall will provide adequate screening. The top of the parapet shall not extend above the allowable maximum height of the building. If additional screening is required, a free-standing screen wall, of a material and color matching the building may be used for screening. Screens shall be at least as high as the equipment they conceal and be set back from the edge of the building façade equal to or greater than the height of the screen wall.

Architectural Standards

Mass and Scale

Intent: Building mass, form, proportion, and height shall be designed to provide visual interest that will support and complement an office park setting. Buildings shall maintain a scale appropriate to surrounding developments.

- Buildings shall be broken down to a human scale with prominently marked public entries.
- Long, uninterrupted facades are not allowed. Changes in planes are required to create shadow lines for interest and accent. The use of architectural projections and recesses help create an attractive architectural module and a pedestrian scale.

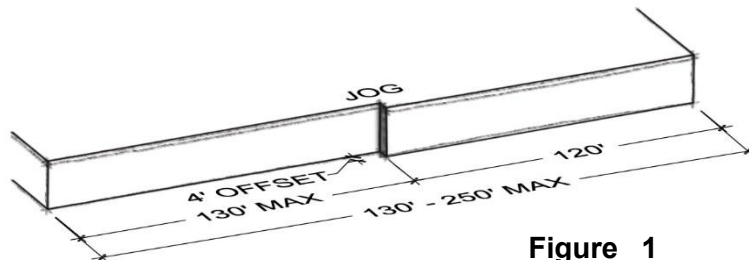


Figure 1

- An uninterrupted length of a façade shall not exceed 130 horizontal feet.
- Building facades between 130 and 250 horizontal feet shall have at least one wall plane jog (figure 1) projection recess a depth of at least 4 feet and extend at least 15% of the total length of the façade. (see figure 2)
- The combined length of multiple recesses or projections can be used to meet the minimum requirements. (see figure 3)

COMPARK VILLAGE PD –EIGHTH AMENDMENT

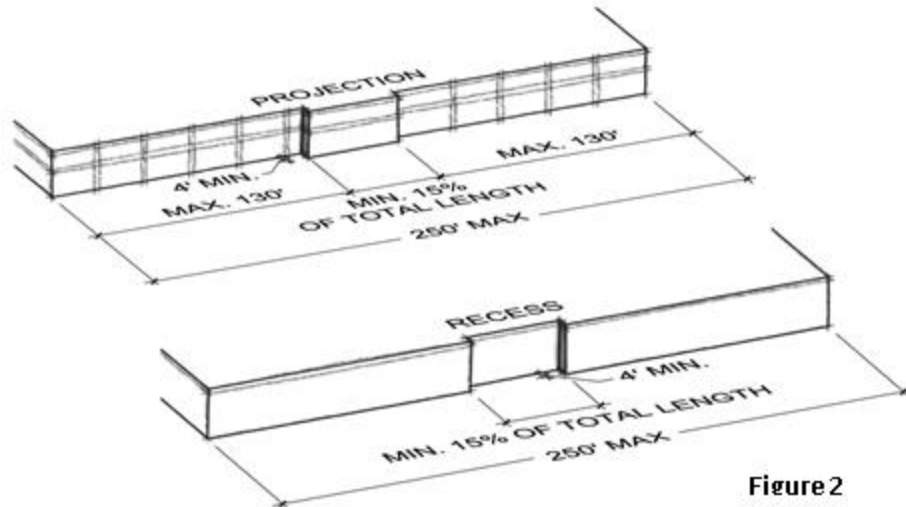


Figure 2

- Building facades between 250 and 380 horizontal feet shall have wall plane projections or recesses a depth of at least 8 feet and extend at least 15% of the total length of the façade. (see figure 4)

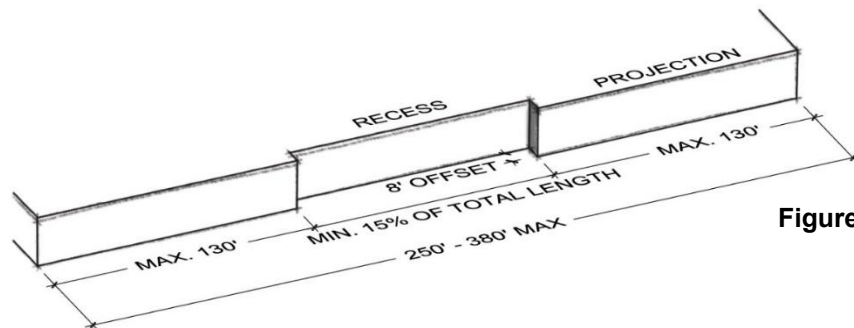


Figure 4

- Buildings greater than 380 horizontal feet shall provide a minimum of at least two projections or recesses. An uninterrupted length of a façade shall not exceed 130 horizontal feet. (see figure 5)
- A recess and/or projection shall be a depth of at least 3% of the entire length of the building and calculated as shown on figure 4. Entry canopies, awnings, trellis work, and other architectural relief may be used as part of a projection and recess if the shadow lines, interest, and accent are created to add interest to the building.

COMPARK VILLAGE PD –EIGHTH AMENDMENT

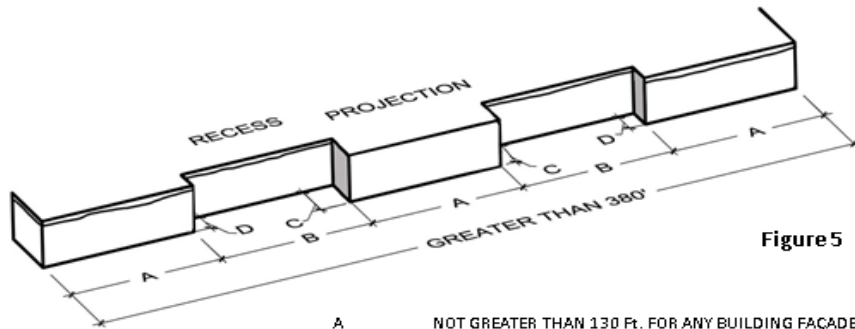


Figure 5

- A NOT GREATER THAN 130 Ft. FOR ANY BUILDING FAÇADE
- B NOT GREATER THAN 130 Ft. FOR ANY BUILDING FAÇADE
- C or D OFFSET TO CREATE A RECESS OR PROJECTIONS SHALL NOT BE LESS THAN 4'-6"
- C plus D EQUALS THE DEPTH OF THE REQUIRED RECESS/PROJECTION AS NOTED ABOVE

Architectural Elements and Articulation

Intent: Create an image of high-quality development. Provide a design rhythm with the repetition of patterns, details, and colors that are consistent with the length and height of the building. Use architectural elements and details that avoid featureless walls. Articulate front facades to provide interest, an inviting pedestrian scale and visual interest that are complementary to the surrounding area.

- Building height shall be limited to the following. Screening of rooftop equipment is not included:
 - a maximum of 25 feet to the top of any parapet.
 - buildings with 2 story mezzanine construction are limited to a maximum 28 feet to the top of the parapet.
- Use the arrangement, proportion, and design of windows and doors as transparent or semi-transparent design elements to help create the design character and rhythm of the building.
- Each building shall have clearly defined, highly visible public entrances that are either recessed into the façade or project away from the façade, not less than 8 feet, and include at least two of the following design elements:
 - canopies or porticos,
 - overhangs,
 - raised corniced parapets over the door,
 - peaked or rounded roof forms,
 - arches, or
 - other unique architectural details
 - Building offsets
 - Awnings or Canopy for accent and pedestrian interest
 - Roofline variation

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- Cornice detailing
- Primary Materials and detailing
- Glass detailing – windows and doors
- Color accent



ENTRY DETAILING

- Buildings shall be designed with consistent materials and details on all sides.
- On facades within the Primary View Shed, use at least 2 complementary materials and 2 colors, excluding windows and doors, to add visual interest and architectural character. A change in material may be accepted as a color change. High quality fabrication and detailing of textures, architectural patterns, and finishes combined with a color change shall qualify as an acceptable material and color change.
- Use architectural detailing for accent, interest, and enhanced quality. Detailing may include the following:
 - raised, articulated parapets,
 - glass recessed within the panel depth for shadows and accent,
 - mitered corners,
 - recessed panels,
 - chamfers, or
 - rustication.

COMPARK VILLAGE PD –EIGHTH AMENDMENT



ARCHITECTURAL DETAILING – CONSIDERATIONS

- Textured Primary Materials at grade
- Planter Boxes
- Awnings for accent and scale
- Glass to or near to grade
- Secondary Materials for the upper facade
- Reveals, texture changes and color changes
- Rustication

Visibility and View Sheds

Intent: Visibility is categorized in 3 view sheds to help define the prominent facades where higher quality architectural materials and detailing will have the greatest impact and where more economical materials and detailing would be acceptable. See figures 6 and 7 below.

- Primary View Shed – Architectural elevations and site improvements that are visible from adjacent public streets and adjoining properties, unless the adjoining property is a continuation of the same development.
- These areas should receive the highest level of design, detailing, and materials as defined in these standards.
- The primary view shed should consider phased development and the impacts that future buildings may have on the visibility of initial development.

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- Secondary View Shed – Architectural elevations and site improvements that are internal to the site and visible to the users and adjacent developments.
- While a consistent use of building materials, details and colors are required on all sides of the building, architectural and site design in the secondary view shed may be modified to reflect the diminished public visibility.
- Loading and Service Areas – These areas shall be oriented to limit visibility and screened from prominent view from public streets.
- Visibility and screening of loading and service areas should consider phased development and the impacts that future buildings may have on the visibility of initial development.

Building Materials

Intent: Quality and durable building materials shall be used to help assure long term development integrity. Façade materials are outlined in the following three categories in support of the three view sheds as outlined above:

- Primary Materials and Finishes – Shall comprise 35% to 45% of the façade in the primary view shed.
- The primary materials and finishes are to be used in the primary view shed areas. They shall have a finished character and detailing that will provide visual interest to pedestrians. Primary materials are intended to be on the ground plane but may extend to the upper levels of the façade for accent a design composition.
- Primary Materials and Finishes may include detailed patterns and reveals is the finished surfaces, form liners to create interesting textures and patterns, texture coat paints to accent the textured material and to create a contrast between patterns, and architectural detailing. Primary materials may also include but are not limited to:
 - Brick, stone, synthetic stone, wood, and integrally colored, textured, or glazed concrete masonry units.
- Glass – Windows, doors, and accent features – Shall comprise 15% to 30% of the façade in the primary view shed.
- The windows, doors, and glass accents shall be used as a primary material to help create an attractive design theme in the primary view shed.
- Secondary and Supporting Materials: – A maximum of approximately 35% of the façade in the Primary view shed.
- The secondary and supporting materials are intended to be viewed from a greater distance as part of the upper portions of the building.
- Secondary materials and finishes may include stucco finishes, textures, painted, finished with larger scaled details appropriate for viewing from greater distances; not the pedestrian viewpoint. Secondary materials may also include, but are not limited to: pre-finished metal panel systems; high-quality text-coat painted pre-stressed concrete systems; and high-quality text-coat.
- Painted tilt-up, site cast concrete.
- Building materials that require substantial maintenance, or those of low durability, shall not be permitted; this includes split shakes, rough sawn or

COMPARK VILLAGE PD –EIGHTH AMENDMENT

board and batten wood, and field painted standard corrugated metal siding.

- Smooth-faced gray concrete block, plain gray tilt-up concrete, pre-engineered metal buildings, and standard single or double tee concrete systems shall be limited to loading dock and service areas that are not visible from public rights-of-way, open space, or residential areas.
- These standard guidelines can be waived if the design demonstrates the application of materials which satisfies the intent statements listed.
- Building materials and details used on the primary view shed facade may be transitioned to a lesser degree of detail on the secondary view shed and loading/service sides of the building. A transition of material and color shall be incorporated into the architectural design rhythm and pattern. A change in material shall not occur abruptly at the corner but shall wrap the corner and change at an architectural feature or detail. The transition of materials shall be directed by the visibility from public streets and adjacent public uses such as trails and parks.
- To the extent possible, interior daylighting in the form of skylights or other architectural features shall be used to minimize energy use.
- Applicants are required to submit a sample material board.

Roofing

Intent: Roof forms shall contribute to the overall image of high quality and permanence and shall be used to screen rooftop equipment where possible.

- Visible roof surfaces shall be made of durable materials such as concrete tile, metal, other pre-finished architectural metals, or architectural grade asphalt shingles. Membrane systems are prohibited on any visible portion of the roof.
- Building with flat roofs shall be designed to create visual interest by using variation in parapet height, articulation of cornice lines, decorative scuppers, or other features.
- Roof forms may be used to accent entries or other architectural design elements.

END OF SECTION

COMPARK VILLAGE PD – EIGHTH AMENDMENT

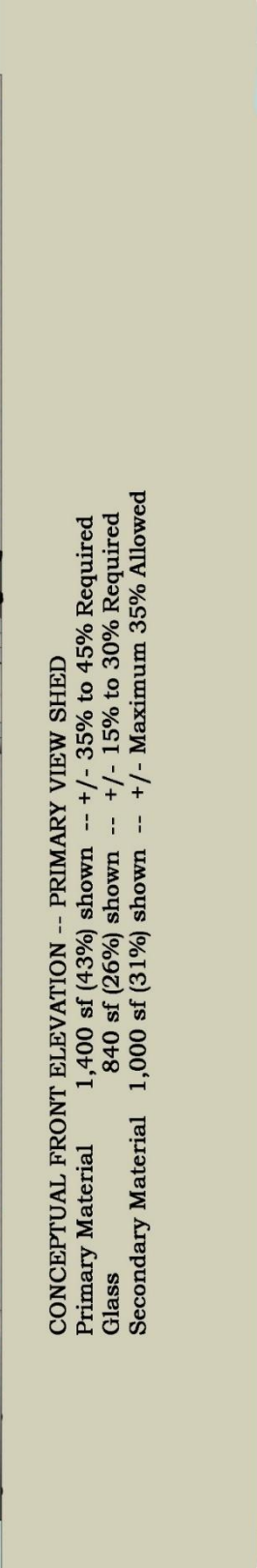


OVERALL -- CONCEPTUAL ARCHITECTURAL CHARACTER
SINGLE STORY FLEX OFFICE



CONCEPTUAL FRONT ELEVATION -- PRIMARY VIEW SHED

Primary Material 1,400 sf (43%) shown -- +/- 35% to 45% Required
 Glass 840 sf (26%) shown -- +/- 15% to 30% Required
 Secondary Material 1,000 sf (31%) shown -- +/- Maximum 35% Allowed



CONCEPTUAL SIDE ELEVATION -- PRIMARY VIEW SHED

Primary Material 1,035 sf (42%) shown -- +/- 35% to 45% Required
 Glass 620 sf (25%) shown -- +/- 15% to 30% Required
 Secondary Material 820 sf (31%) shown -- +/- Maximum 35% Allowed

**CONCEPTUAL ARCHITECTURAL CHARACTER
 SINGLE STORY FLEX OFFICE CHARACTER**

COMPARK BUSINESS CAMPUS
 July 15, 2010

AUTO SERVICES, GAS STATIONS AND CAR WASHES

DEVELOPMENT STANDARDS

INTENT

The Town of Parker has long had a goal to maintain their small-town character while providing the services needed to their residents and visitors. The purpose of the auto services, gas stations, and car washes development standards is to provide the community with automobile related services within an aesthetically pleasing and pedestrian friendly Town of Parker. These standards and guidelines are to provide criteria and guidance for the successful design, development, and operations of land uses that serve automobiles or that require auto drive through, drive up and other significant automobile circulation needs.

LAND USE

Limited to designated areas as delineated on the Development Plan

- auto services, for major and or minor repairs
- car wash, detailing, automatic and coin operated
- Automotive Fuel Sales with or without a car wash
 - All automotive fuel sales shall include a convenience store a minimum of 1,000 square feet.
- service station with and without tire sales and service, with and without gas pumps.

DEVELOPMENT STANDARDS

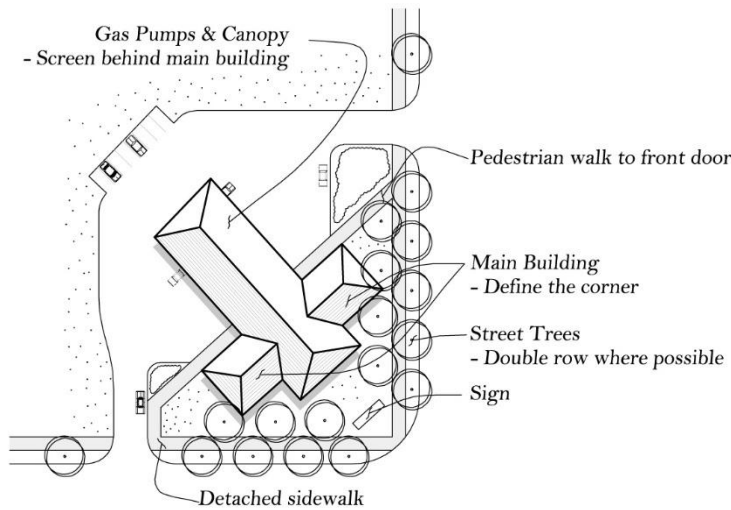
Site Planning

- Site design shall create a strong built edge to the adjacent street or drive lane. This can be accomplished by locating buildings at the setback line or with a structural element, such as a fence, wall, or dense planting, at or near the property line.
- Street corners shall provide structural or strong design elements to anchor the corner. This can be accomplished using a built element or with strong landscape features.
- Service and car wash bays should not face public streets or residential uses without adequate screening or architectural detailing.
- Gas Pump Canopies shall be a secondary visual element. Retail, commercial, and office buildings should create the primary image and streetscape located along the public street.
- Building orientation shall screen the view of the interior service and car wash bays from public rights-of-way or residential uses to the maximum extent possible.
- Car wash as an accessory use shall be incorporated into the overall design of the primary structure and site design.
- Outdoor storage of vehicles shall be integrated into the overall site design as a parking lot. Vehicular storage shall be screened from direct public view with landscaping, fences, walls, or other approved methods. The outdoor storage of

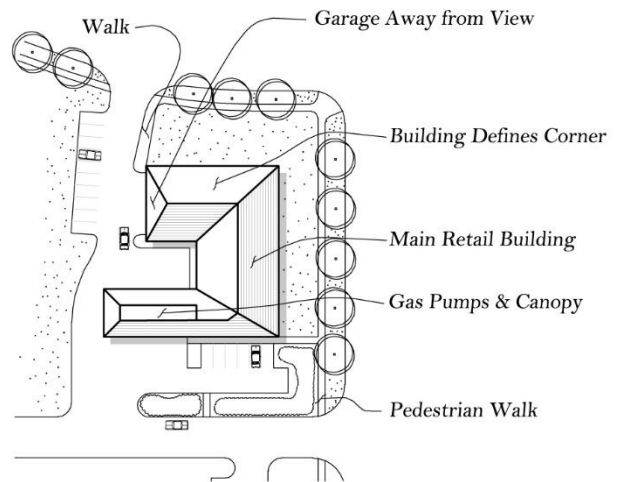
COMPARK VILLAGE PD –EIGHTH AMENDMENT

vehicles shall be noted on the approved site plan.

- Drive-through lanes for car wash, queuing shall be located away from public



Corner Gas and Convenience Alt 1

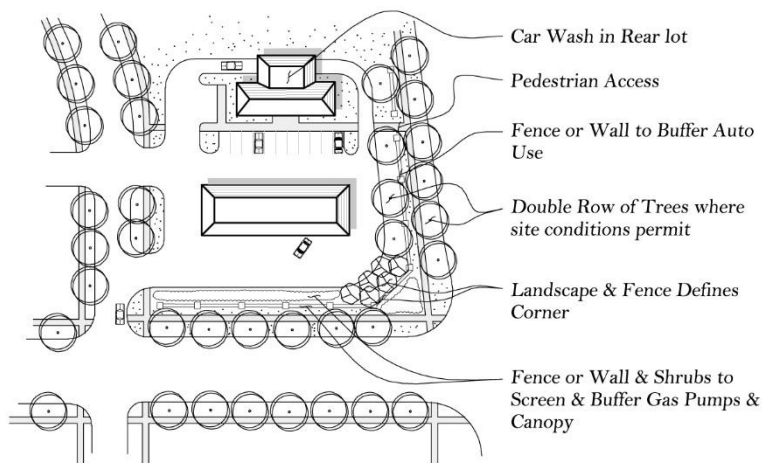


Corner Gas and Convenience Alt 2

rights-of-way to the maximum extent possible. All access drives and queuing shall be compatible with pedestrian circulation.

Vehicular Access/Circulation

- The number, location, and size of curb cuts shall be kept to minimum. Curb cuts. Access will be in accordance with the Town of Parker Roadway Design and Construction Criteria manual and a traffic impact analysis.
- To the greatest extent possible, access points and driveways must be planned and shared between adjacent properties. Access easements must be shown on all Site Plans.
- Compact vehicle dimensions for access or parking are not allowed.
- Vehicular circulation and queuing shall not utilize any portion of a pedestrian walk or public right-of-way.



Gas and Convenience Alt 3

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Pedestrian Access and Compatibility

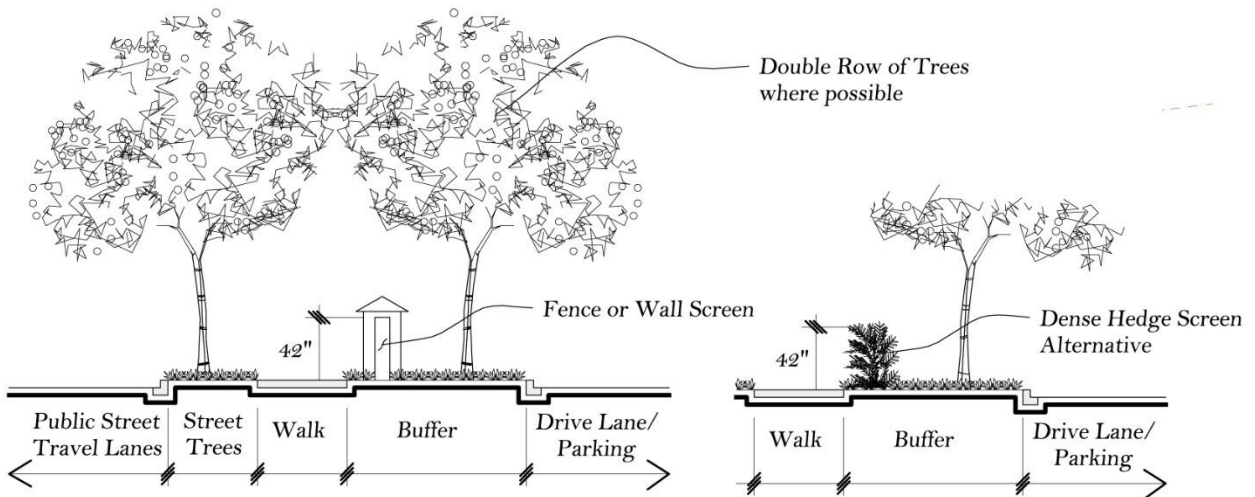
It is recognized that auto related uses such as gas stations, service stations, and convenience stores require substantial area of pavement. It is also recognized that many services provided by these uses are used by pedestrians. Safe and clear pedestrian access from public sidewalks and adjacent commercial uses is required for all site plans for auto related uses.

- Sidewalks should provide strong connections between commercial or residential uses, right-of-way access and the front door or major pedestrian entry point of the main facility.
- Sidewalks in front of or directly adjacent to a major pedestrian entry point shall be no less than 8 (eight) feet wide.

Visual Impact and Visibility

- Service entries and garage doors should be screened from adjacent rights-of-way, residential uses, Green Acres Tributary, and Happy Canyon Creek Open Space with low walls, fences, and vegetation. Berms may be used with landscaping if an opaque screen is provided.
- Trash and storage areas shall be screened from view in accordance to the Town of Parker Land Development Ordinance. Walls and fence materials shall complement exterior building materials.
- Drive through, auto service stations, and auto related uses along dedicated rights-of-way shall have a continuous screen along the right-of-way. The screen shall consist of a low fence, wall, or berm with planting. A combination of walls, berms, and planting is acceptable if complementary to the architectural character of the building and site design. The screen shall be a minimum of 42 inches high to screen the bumper and lights of most automobiles.

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Street Edge and Buffer Screen

Architectural Design

- 360-degree architectural treatment is required. Building design should be compatible in scale and mass with the dominant existing or planned character of the surrounding neighborhood.
- Building materials, colors, forms, roof style detailing, window treatment, and doors should work together to express a harmonious design. All structures including but not limited to kiosks, car wash buildings, and gas pump columns should be architecturally consistent and related to an overall architectural theme or style.
- Building designs that are solely from applied treatments of corporate identity are strongly discouraged.
- Building materials should have the appearance of permanency. Lightweight metal or temporary appearing structures are not permitted.
- Canopy design should include detailing that will reduce the perceived height and mass.
 - Glossy, highly reflective materials are discouraged.
- Car wash should be architecturally integrated into the design of the overall facility.
 - Lighted bands, tubes or applied bands of corporate color are not allowed.

END OF SECTION

COMPARK VILLAGE PD –EIGHTH AMENDMENT

DATA CENTER OVERLAY

In addition to the Town of Parker Development Design Standards, the following standards shall apply.

PURPOSE

The purpose of the Data Center Overlay is to provide diversified economic development and new employment opportunities in the Town of Parker.

These standards and guidelines are intended to provide standards and guidelines for the successful design, development, and operations of the Data Center land use. Data Centers within the Compark Village Planned Development shall be designed to be compatible with the surrounding area.

LAND USE

The Data Center land use is limited to designated areas in the Business Employment and to a limited extent, as set forth in the sentence below, in the Commercial Retail planning areas as delineated as an Overlay on the Development Plan. The Data Center Overlay use in the Commercial Retail planning area can only be a permitted use when developed in combination with an adjacent Business Employment Planning Area.

DEVELOPMENT STANDARDS

These standards are in addition to the Town of Parker Development Design Standards.

BUILDING ORIENTATION

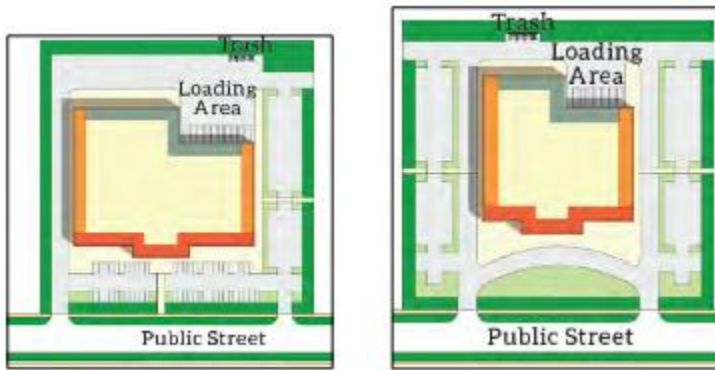
- The building shall be oriented to a public roadway.
- The office, showroom or other publicly accessible portions of the building shall be located or oriented in the building so as to be highly visible from a public roadway or the public realm.
- A building located on a corner site shall be oriented to address both street frontages and shall have enhanced landscaping and architectural design features such as street-facing windows and doors.
- Buildings shall be oriented so that service functions are hidden from public view and are well-screened by landscaping or a screening wall.

SITE LAYOUT

- The office portion of the building shall be located at the front of the building facing the public roadway. The building can be set back to create a courtyard or publicly accessible space in front of the building (see images for building placement below).
- A maximum of one (1) bay of parking shall be permitted in front of the industrial building for visitor or employee parking, between the building and the public roadway. The remainder of the parking shall be located on the side or rear of the building, with adequate screening from a public roadway, open space, parks, and view of the public realm.
- All service and loading functions shall be located in the side or rear of the building

COMPARK VILLAGE PD –EIGHTH AMENDMENT

and screened from view of the public realm.



ARCHITECTURAL ELEMENTS AND ARTICULATION

Building design shall be compatible with the architectural context of the surrounding area. Buildings shall utilize pedestrian scaled architectural detailing.

1. General Standards for all Data Centers

- Buildings shall be broken down to a human scale with prominently marked public entries.
- Long, uninterrupted facades are not allowed. Blank, windowless walls are not permitted. Changes in planes are required to create shadow lines for interest and accent. Provide architectural projections and recesses to achieve variations in wall planes.

2. Standards for Data Centers along Compark Boulevard

- All buildings shall have a minimum setback of 50-feet from Compark Boulevard. No building or portion of the building shall be constructed within this required setback.
- The 50-foot setback area along Compark Blvd. may include the following:
 - Limited to a maximum of one (1) bay of parking;
 - Drive lanes/access;
 - Landscaping;
 - No fencing shall be placed closer than 20 feet of Compark Boulevard.
- On facades with Primary View Shed of Compark Boulevard a minimum of 2 complementary materials and 2 colors, excluding windows and doors, to add visual interest and architectural character shall be provided. A change in material may be accepted as a color change. High quality fabrication and detailing of textures, architectural patterns, and finishes combined with a color change shall qualify as an acceptable material and color change.
- On facades with Primary View Shed of Compark Boulevard a minimum of 20% of the façade shall consist of transparency.

3. Standards for Data Centers along Chambers Road

- All buildings shall have a minimum setback of 100-feet feet from Chambers Road. No building or portion of the building shall be constructed within this required setback.

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- The 100-foot setback area along Chambers Road may include the following:
 - limited to a maximum of one (1) bay of parking,
 - drive lanes/access, and
 - landscaping.
- No fencing shall be placed closer than 50 feet of Chambers Road. All facades visible from Chambers Road shall be designed to look like and meet the commercial design standards.
- All facades visible from Chambers Road shall include a minimum of 40% transparency. Alternative façade articulation may be considered during the review of the Site Plan in lieu of transparency, but in no case shall be less than 25%.
- Use architectural detailing for accent, interest, and enhanced quality. Detailing may include the following:
 - raised, articulated parapets,
 - glass recessed within the panel depth for shadows and accent,
 - mitered corners,
 - recessed panels,
 - chamfers,
 - rustication.
- Enhanced landscaping located at the corner and along Chambers Road. Enhanced landscaping shall include:
 - 1 tree and 5 shrubs per 25 linear feet of frontage; the trees may be clustered to achieve the required amount of landscaping,
 - 50% of the required trees shall be evergreen,
 - Shrub beds should be located on the back side of the sidewalk to enhance the pedestrian experience, and
 - Xeric landscaping elements.



EXAMPLE OF DATA CENTER ARCHITECTURAL QUALITY

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TRAIL AMENITY

- If a Data Center is proposed within the CR Planning Area (PA-10) a trail amenity shall be constructed for public use at or near the access point to the Happy Canyon Regional Trail along Chambers Road.
- The proposed trail amenity shall include the following:
 - A shade shelter that accommodates seating for eight (8)
 - A bike repair station
 - A bench and trash receptacle
 - A dog waste station
 - Landscaping, including trees and shrubs
 - A directional sign indicating access to the trail
 - The trail amenity shall be owned and maintained by the property owner or metropolitan district

SCREENING

Screening shall effectively mitigate negative visual and acoustic impacts of the Data Center and shall be integrated into each project's overall site design.

- All rooftop mechanical equipment shall be screened from view measured from 5' above finished grade at the property line or 5' above a public sidewalk adjacent to the property line.
- Paint wall mounted equipment the same color as the building and locate equipment on the building to minimize visibility.
- Any loading areas, outdoor equipment areas, or other back of house areas shall include a free-standing screen wall, of a material and color matching the building. Screens shall be at least as high as the equipment they conceal and be set back

from the edge of the building façade equal to or greater than the height of the screen wall.

- Utilities shall be placed in accordance with the Town of Parker Utilities Code.

BUILDING MATERIALS

Quality and durable building materials shall be used to help assure long-term development integrity. Façade materials are outlined in the following three categories in support of the three view sheds as outlined above:

- **Primary materials and finishes** are intended to be on the first story wall plane but may extend to the upper levels of the façade to accent a design composition. Primary materials and finishes shall:
 - Include finished character and detailing that will provide visual interest to pedestrians.
 - Include detailed patterns and reveals in the finished surfaces, form liners to create interesting textures and patterns, and architectural detailing.
 - Include brick, stone, synthetic stone, wood, and integrally colored, textured, or glazed concrete masonry units.
- **Secondary and Supporting Materials** are intended to be part of the upper portions of the building. Secondary materials shall:

COMPARK VILLAGE PD –EIGHTH AMENDMENT

- Include Pre-finished metal panel systems, High-quality text-coat painted pre-stressed concrete systems; and high-quality text-coat, Painted (texture) tilt-up, site cast concrete.
- Smooth-faced gray concrete block, plain gray tilt-up concrete, pre-engineered metal buildings, and standard single or double tee concrete systems shall not be permitted.
- A change in material shall not occur abruptly at the corner but shall wrap the corner and change at an architectural feature or detail. The transition of materials shall be directed by the visibility from public streets and adjacent public uses such as trails and parks.

ROOFING

Roof forms shall contribute to the overall image of high quality and permanence and shall be used to screen rooftop equipment where possible.

- Visible roof surfaces shall be made of durable materials such as concrete tile, metal, other pre-finished architectural metals or architectural grade asphalt shingles. Membrane systems are prohibited on any visible portion of the roof.
- Building with flat roofs shall be designed to create visual interest by using variation in parapet height, articulation of cornice lines, decorative scuppers or other features.
- Roof forms shall be used to accent entries or other architectural design elements.
- The building roof(s) shall incorporate a cool roof design with white membrane. The use of rooftop solar panels for sustainability is encouraged.

FENCING

- Any proposed fencing on site shall not exceed eight (8) feet in height.
- Fencing shall consist of quality materials and be architecturally compatible with the development. Chain-link fences shall not be permitted.

END OF SECTION

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EXHIBIT A

- The setback is measured from the lot line to the wall of the structure horizontally and perpendicular to the lot line or right-of-way.
- Minimum structural setbacks do not include underground parking structures.
- Minimum parking setbacks: Parking setbacks include surface parking and setbacks to structural walls of underground parking structures.
- Parking structures may be used without setbacks to separate residential uses from non-residential uses subject to site design, access, visibility, pedestrian connections, and complementary detailing of the parking structure.

	E-470	CHAMBERS RD.	COLLECTOR- COTTONWOOD DR. - COMPARK BOULEVARD - BELFORD AVE.	LOCAL STREETS	HAPPY CANYON CREEK	GREEN ACRES TRIBUTARY	FRONT LOT LINE	SIDE LOT LINES	REAR LOT LINES	ARAPAHOE COUNTY LINE-
PLANNING AREA										
Business Commercial (PA-1 and PA-12) - See Development Guide for more information										
Structure Setbacks	30'	20'	20'	10'/5' (2)	20' (1)	10'		0' (5)	0' (5)	40'
Parking Setbacks	20'	20'	20'	8'/5' (2)	20' (1)	10'		0'/5' (4)	0'/5' (5)	10'
Neighborhood Commercial (PA-15) - See Development Guide for more information										
Structure Setbacks	30'		20'	15' (2)		10'		0' (5)	0' (5)	
Parking Setbacks	20'		20'	10' (2)		10'		0'/5' (4)	0'/5' (5)	
Highway Commercial (PA-7) - See Development Guide for more information										
Structure Setbacks	30'	20'		10'/0' (2)	20' (1)			5'/0' (5)	0'	
Parking Setbacks	20'	20'		10'	20' (1)			0'/5' (4)	0'/5' (4)	
Commercial Retail- (PA-3, PA-9, and PA-10) - See Development Guide for more information										
Commercial		20'	20'	10'/5' (2)	20' (1)	10'		5'/0' (5)	0' (5)	
Mixed Use - (PA-8 and PA-16) - See Development Guide for more information										
Structural Setbacks										
Commercial	30'	20'	20'	10'/0' (2)		10'		5'/0' (5)	0' (5)	
Residential	40'	20'	20'				15' F / 20' G (7)(3)	5'/10' (5)(6)	5'/10' (3)(5)(6)	
Parking	20'	15'/10'	20'	10'/5' (2)				0'/5' (4)	0'/5' (4)	
Mixed Residential - (PA-6, PA-11, PA-17, and PA-18) - See Development Guide for more information										
Structural Setbacks		30'					15' F / 20' G (7)	5'/0' (5)	10'	40'
Parking Setbacks		20'				10'		0'/5' (4)		10'
Light Industrial Flex - (PA-13) -See Development Guide for more information										
Structural Setbacks										
Commercial/Office	20'		20'	10'		20'		5'/0' (5) (6)	0'	
Flex Light Industrial	20'		30'	10'		20'		5'/0' (5) (6)	0'	
Parking Setbacks	10'		15'	10'		10'		0'/5' (4)	0'/5' (4)	
Office Employment (PA-14)- See Development Guide for more information										
Structural Setbacks										
Commercial/Office			20'	10'		20'		5'/0' (5) (6)	0'	
Flex Office/Flex Employment			30'	10'		20'		5'/0' (5) (6)	0'	
Parking Setbacks			10'	10'		10'		0'/5' (4)	0'/5' (4)	
Business Employment (PA-2, PA-4, PA-5, and PA-10) - See Development Guide for more information										
Structural Setbacks										
Commercial/Office		30'	20'	10'	20'	20'		5'/0' (5) (6)	0'	
Flex/Light Industrial		30'	20'	10'	20'	20'		5'/0' (5) (6)	0'	
Parking Setbacks		20'	20'	10'	10'	10'		0'/5' (4)	0'/5' (4)	

NOTES

- (1) Setbacks may be reduced if architectural character and site design provide a compatible pedestrian environment along the adjacent open space or an acceptable buffer is created between the structure or parking lot and the open space.
- (2) Setback may be reduced if architectural character and site design provide a compatible pedestrian environment along the local street.
- (3) 5-foot setback where main residential entries are articulated with pedestrian friendly architectural features such as a front porch or other entry feature.
- (4) 0'-setback if parking is shared between two adjacent developments; 5-feet if shared parking is not provided.
- (5) 5-feet from internal property line. 0'-setback when separating internal non-residential uses or shared walls on the property line. Minimum distance between buildings shall be controlled by Building and Fire Codes.
- (6) Setback for garages are intended to provide an adequate parking apron to allow for parking without conflicting with vehicular or pedestrian circulation. Parking in the apron should not interfere with pedestrian movement. Garage setbacks are measured from the garage door to the back edge of sidewalk.
- (7) The front setback should measure 15-feet from the façade of the building to the right-of-way line. Garage setback should measure 20-feet from the garage to the back edge of sidewalk.