



PLANNING COMMISSION MEETING

7:00 PM

February 12, 2026

Planning Commission meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Commissioners eliminating lengthy discussions to gain a basic understanding. Timely action and short discussion on agenda items does not reflect lack of thought or analysis on the part of the Planning Commission.

Public comment on agenda items may only be made in person.

Public Viewing Only - YouTube: Planning Commission meetings may be viewed through YouTube at: <https://www.youtube.com/townofparkerco>.

PLEASE NOTE: Public participation is NOT available through YouTube.

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. ADDITIONS TO OR DELETIONS FROM THE AGENDA
5. APPROVAL OF MINUTES
 - A. Planning Commission Meeting Minutes - 1.22.26
6. CONSENT AGENDA
7. PUBLIC HEARINGS
 - A. Harding Heights Filing No. 1, Lot 2 - Take 5 Oil Change - Use by Special Review

Applicant:	Claycon Oil West, LLC
Location:	Southwest of the intersection of Parker Road and Longs Way
Department:	Community Development, Elizabeth Steward
TRAKiT No.:	Z25-012

8. **PLANNING COMMISSION ITEMS**

9. **STAFF ITEMS**

10. **ADJOURNMENT**



PLANNING COMMISSION MINUTES
January 22, 2026

Planning Commission Chairperson Gary Poole called the meeting to order at 7:00 p.m.

The Planning Commission and audience joined in saying the Pledge of Allegiance.

Also, present and seated were Commissioners Jane Lane, Jenny Wahlrabe, Ruth Ann Nelson, Lisa Ruiz, Eliana Burke and Bret Tueller.

ADDITIONS TO OR DELETIONS FROM THE AGENDA

None.

APPROVAL OF MINUTES

Commissioner Ruth Ann Nelson moved to approve December 11, 2025, meeting minutes. Commissioner Eliana Burke seconded; a vote was taken and passed unanimously.

PUBLIC HEARING – COMPARK VILLAGE AMENDMENT NO. 8 PD AMENDMENT – ZONING

Commissioner Ruth Ann Nelson moved that the Planning Commission vote to continue the Compark Village Amendment No. 8 PD Amendment – Zoning to a date uncertain.

The applicant has requested a continuance to the hearing to allow time to make additional edits to the Planned Development Guide.

Commissioner Elaina Burke seconded the motion; a vote was taken and passed unanimously.

PLANNING COMMISSION ITEMS

None.

STAFF ITEMS

None.

ADJOURNMENT

Commissioner Ruth Ann Nelson moved that the meeting be adjourned. Commissioner Jane Lane seconded the motion; a vote was taken and passed unanimously. The meeting was adjourned.

Jennifer Malley
Recording Secretary

Gary Poole



Planning Commission Staff Report

Planning Commission Date: 2/12/2026

Town Council Date: 2/17/2026

Hearing Type: Public Hearing
Take 5 Oil Change Use By Special Review
TRAKiT No.: Z25-012

Location: West side of Parker Road
South of Longs Way

Project Planner: Elizabeth Steward, Associate Planner - Development Review

Applicant: Jim Gamble, Claycon Oil West, LLC

Executive Summary: The applicant, Take 5, is requesting a Use by Special Review to allow for a 1,775 Sq. Ft. drive up only oil change building and use.

Staff Recommendation: Denial

RECOMMENDED MOTION

"I move the Planning Commission recommend Town Council deny the Take 5 Oil Change Use by Special Review as the request does not meet the following approval criteria:

- The proposed use will be in harmony and compatible with the character of the surrounding areas and neighborhoods.*
- The proposed use is consistent with the Town Master Plan.*
- Adequate pedestrian, bicycle, and vehicular access and circulation routes exist to serve the proposed development, and traffic movement in the surrounding area would not cause undue multi-modal traffic impacts by development or demonstrates the mitigation of circulation impacts to the maximum extent practicable."*

ALTERNATIVE MOTIONS

"I move the Planning Commission recommend Town Council approve the Take 5 Oil Change Use By Special Review, subject to the following conditions:

- 1. The Use by Special Review materials submitted to the Community Development Department on August 25, 2025 shall be the approved Use by Special Review materials."*

"I move the Planning Commission recommend Town Council approve the Take 5 Oil Change Use by Special Review."

“I move the Planning Commission vote to continue the Take 5 Oil Change Use by Special Review to a future date.”

BACKGROUND/DISCUSSION

The applicant, ClayCon Development, is requesting a Use by Special Review to allow for a Take 5 Oil Change, which is a drive-up only oil change facility where customers do not exit their automobiles. This type of use is Automotive Repair, Minor as defined in the Land Development Ordinance (13.02.020). The property is zoned Mixed-Use Community (MC) in which Automotive Repair, Minor is only allowed through Use by Special Review (13.05.020). The Site is located Southwest of the intersection of Longs Way and Parker Road. The Site Plan for the proposed building is currently under administrative review and can be found under project number SP25-113 in eTRAKiT.

The lot was created as a part of the Harding Heights Subdivision Minor Development Plat applied for on 10/30/2020 and approved on February 5, 2024. The lot is currently vacant, with private access drive improvements constructed.

Vicinity Map



I. PRIOR ACTIONS

Date	Action
May 5, 1981	The property on the west side of Parker Road south of Longs Way was annexed into the Town of Parker as part of the original incorporation of the Town.
May 5, 1981	The Property was zoned with original incorporation into the Town of Parker as Business & Commercial District
September 16, 1991	The Property was rezoned as part of the McClintock II PD request to Modified Commercial
February 5, 2024	The McClintock II PD Modified Commercial Zoning was repealed and rezoned to Mixed-Use Community (MC). The purpose of this rezoning was to clean up the zoning in what is now the Harding Heights development, as the properties had three zone districts.

II. CURRENT SITE DATA

Existing Zoning	Mixed-Use Community		
Overlay District	N/A		
PD & Plan Area	N/A		
Master Plan Area	Central Commercial		
Site Acreage	1.375		
Subdivision	Harding Heights		
Existing Use	Vacant		
Surrounding Uses			
	Master Plan Land Use	Zoning	Existing Use
North	Central Commercial	Mixed-Use Community	Existing Commercial (QuikTrip Gas and Convenience Store)
South	Central Commercial	Mixed-Use Community	Existing Commercial (39 North Gift Shop)
East	Mainstreet Master Plan Area	Mixed-Use Community	Parker Road and Existing Commercial (Preschool, Animal Clinic, and Used Car Dealership)
West	Central Commercial	Mixed-Use Community	Vacant Commercial Property

III. PARKER 2035 MASTER PLAN

[Parker 2035 Master Plan | Town of Parker - Official Website](#)

MASTER PLAN CONSISTENCY	
Master Plan Designation	Central Commercial <input type="checkbox"/> Consistent <input checked="" type="checkbox"/> Inconsistent
Master Plan Character Discussion	The Central Commercial District encompasses the commercial core of the Town. Due to its central location, with access to Parker Road, Dransfeldt Road

	<p>and Twenty Mile Road and current land uses, growth in this Character Area should focus on core retail, services, offices, lodging, restaurants, entertainment and, to a lesser extent, higher density residential uses as part of a development with a mix of uses and a design that focuses on vehicular and pedestrian connectivity between uses. Vertical mixed use is highly encouraged where appropriate.</p>
<p>Inconsistent Goals/Strategies</p>	<p>Land Use 1.A Land Use 1.B Land Use 1.C Land Use 1.D Land Use 1.E Land Use 1.F Land Use 1.H Transportation 2.D Jobs and Economic Vitality 2 Jobs and Economic Vitality 2.C Jobs and Economic Vitality 2.D Jobs and Economic Vitality 4.A Jobs and Economic Vitality 6</p>
<p>Staff Analysis</p>	<p>The Property is located within the Central Commercial Character Area of the Town’s Master Plan. The use is proposed through the Use by Special Review application, and the potential building design is currently under review through the Site Plan Review process.</p> <p>Chapter 6 of the Master Plan under Land Use encourages a balance of land uses that support a high quality of life and a sense of community, ensuring growth occurs in a pace that allows the Town to provide quality services, ensure adequate opportunities for future expansion of the economic base, transitions between uses and development that is compatible with and supports a variety of transportation choices. The proposed drive through oil change facility does not contribute to the overall sense of community or high quality development for this area of Parker Road. In addition, the proposed use is very specific, limiting the future reuse or expansion of the Town’s economic base.</p> <p>Transportation Goal 2.D states that transportation for pedestrian, bicycles, and automobiles is adequately provided throughout Town; while sidewalk connections are provided, the use requested, a drive thru only</p>

automotive repair facility does not contribute to the use of the sidewalks, making this goal inconsistent.

Jobs and Economic Vitality Goals under Chapter 9 of the Master Plan include encouraging diverse services, emphasis on small and local businesses, contribution to Parker's sales tax base, encouraging a pedestrian environment, and sustain redevelopment and revitalization efforts. This project is inconsistent with these goals as an additional auto service in an area not designated to be auto services, with one already existing nearby does not contribute to diverse services. Furthermore, the proposal does not provide an opportunity for a pedestrian environment, a significant contribution to Parker's Sales Tax base, or a small or local business. For Redevelopment Efforts, the rezoning and Minor Development Plat of the Harding heights subdivision was intended to allow redevelopment of an area in closer proximity to Mainstreet and the Parker Park-n-Ride and transit opportunities while centering auto oriented uses away from the Parker Road Corridor. Allowing the proposed use does not further the work completed to revitalize the Parker Road Corridor through the Harding heights Subdivision.

When the zoning for this property was originally approved, staff found that the zoning aligned with the Master Plan by supporting commercial development consistent with the Central Commercial vision. It was intended for this area to provide commercial uses which focus on retail, services, lodging, restaurants, and entertainment, by creating vehicular and pedestrian access to underutilized commercial properties in the Central Commercial planning area and creating lots laid out to support commercial development. While the proposed use is a commercial service, the auto-oriented nature of it, designated to be located off of Parker Road, is not consistent with the vision of Central Commercial or the original rezoning.

The applicant is proposing a drive up only oil change facility, the business model has no pedestrian access and customers do not leave their automobile. While Automotive Repair-Minor is categorized as a service use, staff finds that the proposal does not meaningfully contribute to the mix of commercial uses envisioned for the Central Commercial Character Area. The proposal

	<p>is for a second auto-oriented use in an area where such uses are only allowed as a Use by Special Review, reflecting the Master Plan’s guidance described in the Central Commercial Character Area. The proposal also does not support a variety of uses, and it does not further the Master Plan’s emphasis on a cohesive commercial core with strong pedestrian and vehicular connectivity between uses, as the proposed use does not allow for a pedestrian to utilize their services or any nearby businesses or amenities.</p> <p>Furthermore, the proposal does not align with the broader intent of the Central Commercial Character Area to support higher-intensity commercial activity and mixed-use development along Parker Road. The proposed use is limited in scale, function, and duration of customer activity, with services occurring entirely within vehicles and no opportunity for on-site pedestrian engagement or cross-use with adjacent businesses. As a result, the development does not generate the level of activity, interaction, or site flexibility envisioned for this corridor, nor does it support the creation of a concentrated commercial focal point along Parker Road. Instead, the use functions as an isolated, auto-oriented service that does not contribute to the cumulative intensity or mixed-use character anticipated for the area.</p> <p>Based on this analysis, staff has determined that the request is not consistent with the Parker 2035 Master Plan.</p>
--	--

IV. OTHER MASTER PLANNING DOCUMENTS

OTHER PLANNING DOCUMENTS CONSISTENCY	
Other Planning Documents	Parker Road Corridor Plan
Consistency Review	<input type="checkbox"/> Consistent <input checked="" type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Staff Analysis	The Parker Road Corridor Plan is an element of the Parker 2035 Master Plan functions as a roadmap that coordinates both the Town’s and CDOT’s policies and programming for future land development approvals and transportation investments. This Plan was created to aid Town staff with difficult zoning challenges, guide the creation of new development standards, align land use and transportation policies along the corridor as well as assist other land use

	<p>goals. This Plan lays out a framework and vision that helps guide development along the Parker Road Corridor.</p> <p>Within the land use chapter of the Plan, it is stated that the future land goals for the corridor are to concentrate higher-intensity, pedestrian oriented commercial mixed-use development on properties that can be assembled in the corridor. One of the key takeaways of the Parker Road Corridor is to encourage pedestrian oriented uses along Parker Road. The proposed Use by Special Review directly conflicts with the Parker Road Corridor’s goal, as it will be allowing non-pedestrian friendly use into a major commercial hub along Parker Road’s Central Subarea as further described above in the Parker 2035 Master Plan staff analysis.</p> <p>Based on this analysis, staff has determined that the request is not consistent with the Parker Road Corridor Plan, which is adopted as an element of the Parker 2035 Master Plan.</p>
--	--

V. LAND DEVELOPMENT ORDINANCE

ZONING CONSISTENCY (Site Plan/UBSR/Sketch/Prelim Plan/MDP)			
Provisions	Existing/Required	Proposed	Analysis
Setbacks	Front – 25 feet Side – 5 feet Side, adjacent to street- 10 feet Rear, with alley– 5 feet Rear, without alley- 8 feet	The Proposed Building is currently in compliance with the setback requirements. North- 101.7’ East- 102.8’ South- 89.3’ West- 106.6’	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Density	No Minimum	N/A	<input type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> N/A
Height/Stories	45 feet Maximum	The Proposed Building is 16’3” and up to 28’5” at the Tower Feature and is therefore not exceeding the Maximum building height.	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Lot Size	7,000 sq. ft. nonresidential minimum	The lot is approximately 58,538 sf/ 1.375 AC.	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A

Lot Coverage	N/A	The proposed building covers 1,775 square feet.	<input type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> N/A
Landscaping	Section 13.08.090	The applicant will be required to meet the minimum landscaping requirements as outlined within the code.	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Off-Street Parking	Section 13.08.080 : The minimum parking requirement for Automotive Repair, Minor is 1 per 500 square feet ground floor area.	The applicant will be required to meet the minimum parking requirements as outlined within the code.	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Miscellaneous	Utilities	Parker Water and Sanitation District, Xcel Energy and IREA would provide utility service to the development.	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Staff Analysis	<p>13.04.070(a) sets forth the following purpose:</p> <p><i>“The MC district is intended to accommodate a larger town-wide market area along central commercial character areas and community centers. The MC district includes a mix of residential and nonresidential uses at varied densities and intensities, with an emphasis on pedestrian-friendly design and active ground-floor uses, but the district may also accommodate limited auto-oriented uses. The MC district allows for both horizontal and vertical mixed-use.”</i></p> <p>While auto-oriented uses already exist in the area, such as the QuikTrip Gas Station within the Harding Heights subdivision and the Dever Auto Company Used Car Dealer across the Parker Road Corridor, the Code advises to limit them. These uses are specifically only allowed as a Use by Special Review in an effort to evaluate the appropriateness and compatibility of Auto-Oriented uses in this location. This Use by Special Review request is purely auto-oriented with no pedestrian element and does not support pedestrian friendly design.</p> <p>All setback, height, landscaping, and parking requirements will be reviewed for compliance as part of the concurrent site plan application review.</p> <p>Based on this analysis, staff has determined that the request is not consistent with the purpose of the Mixed Use Community (MC) zoning.</p>		

VI. ACCESS, CIRCULATION & TRAFFIC ANALYSIS

The property is accessible through an access point on Parker Road and through connections onto a Private Road off Longs Way. Access to the property will remain unchanged. The Harding Heights Subdivision developer constructed sidewalks along the private drive and sidewalk improvements along Parker Road, ensuring pedestrian and bicycle accessibility when the property further develops.

VII. APPROVAL CRITERIA

Section 13.03.040 Criteria for Approval for Uses Permitted by Special Review:

1. The proposed use will be in harmony and compatible with the character of the surrounding areas and neighborhoods.

Applicant analysis and findings:

Yes. The proposed use is compatible with the character of the surrounding area and is consistent with the Town of Parker's adopted land-use and corridor planning policies. The Parker Road Corridor Plan identifies this portion of the corridor for commercial land uses, including auto-oriented and highway-serving services. The proposed Take 5 Oil Change conforms to this envisioned form and function by incorporating appropriate site layout, circulation, and buffering that align with the design characteristics outlined in the Corridor Plan. Additionally, the Parker 2035 Master Plan and Land Development Ordinance support commercial development that contributes to the economic vitality of the corridor while maintaining a consistent and cohesive community character. Given the presence of similar commercial and automotive-support uses in the immediate vicinity—such as the adjacent newly developed QuikTrip—the proposed use reinforces, rather than alters, the established development pattern. Accordingly, the project is in harmony with the surrounding neighborhood context and satisfies the Town's criteria for land-use compatibility. We also feel that the new construction under the current development criteria will enhance the corridor and promote additional high quality development and construction.

Staff analysis and findings:

The subject property is located within the Central Commercial Character Area as identified in the Parker 2035 Master Plan and is zoned Mixed-Use Community (MC). The MC zoning district is intended to accommodate a Town-wide market area within central commercial corridors through a mix of residential and nonresidential uses at varied densities and intensities, with an emphasis on pedestrian-friendly design, active ground-floor uses, and connectivity between uses. While the district allows for limited auto-oriented uses, the primary intent is to support higher-intensity, pedestrian-supportive commercial development within central corridors.

The property is situated along Parker Road, which was identified through the 2019 Parker Road Corridor Plan as a transition corridor intended to evolve toward higher-intensity commercial development with enhanced pedestrian activity and connectivity. Surrounding commercial uses along this segment of Parker Road include retail and service-oriented establishments that provide pedestrian access, sidewalks, and the ability for customers to park once and walk between uses. Recent redevelopment

efforts, including the Harding Heights subdivision, represent the first coordinated property assembly and rezoning along this corridor intended to implement these adopted policy goals by improving internal circulation, sidewalk connectivity, and site layouts that support pedestrian movement between commercial uses.

In contrast, the proposed drive-through-only oil change facility operates exclusively as an auto-oriented use. Customers remain in their vehicles for the duration of service, and the business model does not provide pedestrian access, pedestrian activity, or opportunities for interaction with adjacent businesses or shared circulation within the corridor. As such, the proposed use does not support the pedestrian-oriented development pattern established by recent corridor planning efforts and instead perpetuates auto-oriented development characteristics that the Town has sought to transition away from along Parker Road.

Given the property's location within the Central Commercial Character Area, its Mixed-Use Community zoning, and its role as part of an early redevelopment opportunity intended to set the tone for higher-intensity, pedestrian-supportive commercial development along Parker Road, staff finds that the proposed use does not complement the existing or planned character of the surrounding area.

Therefore, staff has determined that this criterion cannot be satisfied.

2. The proposed use is consistent with the Town Master Plan.

Applicant analysis and findings:

Yes. The proposed use is consistent with the Town of Parker's Master Plan and the Parker Road Corridor Plan. The project falls within the Central Commercial District framework designated within the 2035 Master Plan which encourages core retail, services, lodging restaurants and entertainment and focuses on both pedestrian and vehicular connectivity between uses. The 2035 Master Plan emphasizes coordinated commercial development, enhanced multimodal connectivity, and reinvestment along major corridors such as Parker Road. The Corridor Plan further identifies this segment of the corridor as an area where improving pedestrian comfort and providing continuous sidewalk connections are key objectives that support both safety and corridor circulation. In alignment with these adopted policies, the project incorporates new sidewalk segments and enhanced pedestrian connections that link the site to existing public walkways and adjacent commercial uses. The proposed Take 5 Oil Change also supports the Master Plan's economic development goals by adding a compatible commercial service within a corridor specifically intended for auto-oriented and highway-supportive commercial uses to serve the community. Taken together, these elements demonstrate that the development meets the intent of both the 3035 Master Plan and the Parker Road Corridor Plan.

Staff analysis and findings:

As outlined in Section IV of the Staff Report, the Parker 2035 Master Plan designates the subject property within the Central Commercial Character Area, which is intended to function as the Town's commercial core. This area is planned to accommodate a mix

of higher-intensity commercial uses, including retail, services, restaurants, entertainment, and mixed-use development, with an emphasis on pedestrian connectivity, site adaptability, and interaction between uses along major corridors such as Parker Road.

While Automotive Repair, Minor is categorized as a service use, the proposed drive-through-only oil change facility operates as a low-intensity, auto-oriented use that does not support pedestrian activity, mixed-use integration, or shared commercial interaction. The business model limits customer activity to brief, vehicle-based transactions and does not contribute to the cohesive, pedestrian-supported commercial environment envisioned for the Central Commercial Character Area.

Additionally, the Parker Road Corridor Plan, an element of the Parker 2035 Master Plan, emphasizes pedestrian-oriented development and the reinforcement of Parker Road as an active commercial corridor. The proposed use does not advance these objectives, as it does not activate the site beyond vehicular access and does not contribute to the corridor's intended role as a focal point for commercial activity and redevelopment. Based on these factors, staff finds that the proposed use is not consistent with the policies, goals, or development intent of the Parker 2035 Master Plan or the Parker Road Corridor Plan.

Therefore, staff has determined that this criterion cannot be satisfied.

3. The proposed site is sufficient in size and shape to support the proposed use.

Applicant analysis and findings:

Yes, the project is sized and oriented properly to support the proposed use. The building is relatively small in size and is oriented so that the bay doors do not face Parker Road. The finished floor of the building is approximately 5' below Parker Road and setback over 100' therefore the building is less visible from the main corridor. Proposed landscaping and abundant green space surrounding the developed area on this site will provide additional aesthetic enhancement for the site.

Staff analysis and findings:

All requirements of the Land Development Ordinance as it relates to setbacks, landscaping, parking, drainage, and architecture will be reviewed and required to be satisfied prior to construction through the Site Plan process.

Therefore, staff has determined that this criterion can be satisfied.

4. The proposed use does not require significant capital improvements that the Town has not included in its capital improvement program.

Applicant analysis and findings:

Yes, surrounding infrastructure has been installed as part of the subdivision and development of the adjacent QuikTrip property. There are existing private drives that will serve the site for its two access points. Additionally, sidewalk connections and

ADA paths are provided around the site. No public funding or capitalization will be required for the development of the property

Staff analysis and findings:

The existing transportation network and infrastructure around the subject property has been constructed and was designed to be able to handle traffic generated by commercial development.

Therefore, staff has determined that this criterion can be satisfied.

5. The proposed use does not require community facilities and levels of community services greater those available from the Town or applicable service providers.

Applicant analysis and findings:

The project will not require any community facilities or levels of community services greater than those available from the Town or applicable service providers consistent with other small retail users.

Staff analysis and findings:

The applicant's request will not require a level of community facilities and services greater than that which is available. The development will not result in additional school services and utilities, including water and sanitation, are available to the site.

Therefore, staff has determined that this criterion can be satisfied.

6. Adequate pedestrian, bicycle, and vehicular access and circulation routes exist to serve the proposed development, and traffic movement in the surrounding area would not cause undue multi-modal traffic impacts by development, or demonstrates the mitigation of circulation impacts to the maximum extent practicable.

Applicant analysis and findings:

Yes, existing access and circulation will not be altered and infrastructure constructed as a part of the Quik Trip will be further enhanced by including additional, pedestrian /bicycle sidewalks and bicycle racks to the proposed development to promote pedestrian accessibility. Per the Traffic memo prepared for this development, the site will generate less traffic than was originally planned for in the master traffic impact study for the approved master subdivision

Staff analysis and findings:

The subject property is served by existing vehicular access from Parker Road and internal connections through the Harding Heights subdivision. Sidewalks and ADA-compliant pedestrian facilities have been constructed along Parker Road and within the subdivision, and bicycle access is available through the surrounding street network. Based on the traffic memorandum submitted with the application, the proposed use is not anticipated to generate vehicular traffic volumes that exceed those previously analyzed for the approved subdivision, and staff does not find that the proposal would create undue vehicular traffic impacts.

However, the second component of this approval criterion requires that circulation routes function in a manner that supports multimodal connectivity to the maximum extent practicable. Through the Parker Road Corridor Plan and the Harding Heights subdivision approvals, the Town and the developer have made deliberate investments in pedestrian and bicycle infrastructure intended to support walkability, connectivity between uses, and activation of the corridor. While these facilities physically exist and are capable of serving the site, the proposed drive-through-only oil change facility does not utilize or reinforce this infrastructure. Customers remain in their vehicles for the duration of service, and the use does not provide pedestrian access, pedestrian circulation, or functional connectivity to adjacent commercial uses.

As a result, although access and circulation infrastructure is in place and traffic impacts are not anticipated to be significant, the proposed use does not meaningfully support or leverage the multimodal circulation network that has been implemented to advance the Town's corridor planning objectives.

Therefore, staff has determined that this criterion cannot be satisfied.

7. The proposed use will not create material environmental impacts on the surrounding area or the Town as a whole or demonstrates the mitigation of environmental impacts to the maximum extent practicable.

Applicant analysis and findings:

The project will not create material environmental impacts. After a Take 5 technician directs and guides the customer over a shallow trench, the used oil is drained into a rolling drain pan that is positioned under the vehicle. The oil filter is also changed above the drain pan. When necessary, the drain pans are emptied to designated oil tanks via a gasoline-rated hose, routed through chases to the storage room. The hoses are connected via a vacuum diaphragm pump, so the system is totally non-pressurized. 100% of Take 5's used oil and oil filters are reclaimed and recycled by OSHA-certified used oil recycling companies. Take 5 stores new bulk oils in Rhino gravity feed systems inside the bay areas. These systems have no pumps or pressure, are approved by OSHA and DOT, and are located within a recessed area within the shop. Take 5 also carries a minimum amount of retail bottled oils for specialty vehicles as necessary. Bulk tanks are placed within recessed areas. The recessed areas are connected via 3" chases to the shallow trenches, providing secondary containment. The oil separator is cleaned/emptied/maintained by the OSHA-certified recycling company that collects and recycles the used oil. All environmental operations of the facility meet or exceed all national standards.

Staff analysis and findings:

The applicant will be required to meet all state and federal requirements regarding environmental impacts for their use.

Therefore, staff has determined that this criterion can be satisfied.

8. The proposed use will be adequately landscaped, buffered and screened to mitigate impacts.

Applicant analysis and findings:

Yes. The site will be adequately landscaped, buffered, and screened in accordance with the Town of Parker's development standards and the character objectives outlined in the Parker Road Corridor Plan. The Corridor Plan emphasizes the importance of establishing a cohesive visual environment along Parker Road through enhanced landscape treatments, perimeter buffering, and the use of plant materials to soften the appearance of auto-oriented commercial uses. This project incorporates a comprehensive landscape plan that includes approved trees, shrubs, and native grasses positioned along Parker Road, the site frontage, and internal drive aisles to effectively screen vehicular areas and reduce visual impacts from both the public right-of-way and adjacent private drives. The landscape palette and placement are designed to strengthen corridor aesthetics, maintain consistency with surrounding commercial development, and provide appropriate buffering between the use and neighboring properties. These improvements ensure that the site is attractively landscaped and appropriately screened, fully satisfying the Town's criteria for mitigating visual and compatibility impacts

Staff analysis and findings:

A detailed Site Plan has been submitted for the application in order to evaluate the development requirements for the subject property. All landscape and design standards outlined in the Land Development Ordinance and the Development Design Standards will be required to be met prior to approval of the Site Plan.

Therefore, staff has determined that this criterion can be satisfied.

9. The proposed use will not otherwise be detrimental to the health, safety or welfare of the present or future inhabitants of the Town.

Applicant analysis and findings:

The use will not be a detriment to the health, safety, or welfare of present or future inhabitants of the Town. All operations activities for the services provided occur within the building and do not create any appreciable levels of noise. Further, the orientation of the building, setbacks and buffering from adjacent properties and the incorporation of the landscape treatments further mitigate any noise that a typical commercial facility may generate.

Staff analysis and findings:

The proposed use will be required to meet all Town, State and Federal regulations and guidelines. The original rezoning for the property contemplated compatible commercial uses for the site. In addition, the applicant will be required to meet all requirements for site layout, landscaping, parking, lighting, drainage, and circulation of the Town Land Development Ordinance.

Therefore, staff has determined that this criterion can be satisfied.

VIII. SUMMARY REFERRAL AGENCY COMMENTS AND CONDITIONS

Agency	Comments
South Metro Fire & Rescue Authority	A commercial water distribution (CWDS) permit is required from SMFR.
Parker Police	No Comment.
PSCO/Xcel	No Comment.
Parker Water and Sanitation District	No Comment.
Parker Building	Building has no issues with the UBSR application.
Parker Economic Development	No Comment.
CORE	No Comment.
CenturyLink	No Comment.
Comcast	No Comment.
Comprehensive Planning	In the proposed zoning application for a Take 5 Vehicle Oil Change establishment, the applicant must show they meet the Use by Special Review criteria. The proposed location is complementary to a new adjacent use and is in the Master Plan's Central Commercial Character Area which states in part: The Central Commercial District encompasses the commercial core of the Town. Land uses in this Character Area should focus on core retail, services, offices, lodging, restaurants, entertainment - with a mix of uses and a design that focuses on vehicular and pedestrian connectivity between uses.

IX. CONCLUSION

The requested Use by Special Review is proposing to allow the use of Automotive Repair, Minor, within the properties Mixed-Use Community (MC) Zone District, with the intent of developing a Take 5 Oil Change establishment.

Staff has reviewed the application for Use by Special Review as described herein and has determined that the proposed amendment does not satisfy all nine approval criteria set forth in the Land Development Ordinance and outlined in Section VI of this staff report, specifically the following criteria have not been met:

- The proposed use will be in harmony and compatible with the character of the surrounding areas and neighborhoods.
- The proposed use is consistent with the Town Master Plan.
- Adequate pedestrian, bicycle, and vehicular access and circulation routes exist to serve the proposed development, and traffic movement in the surrounding area would not cause undue multi-modal traffic impacts by development, or demonstrates the mitigation of circulation impacts to the maximum extent practicable.

Based on the analysis contained in this staff report, staff recommends that the Planning Commission recommends Town Council deny the Use By Special Review request.

X. **ATTACHMENTS**
Conceptual Site Plan

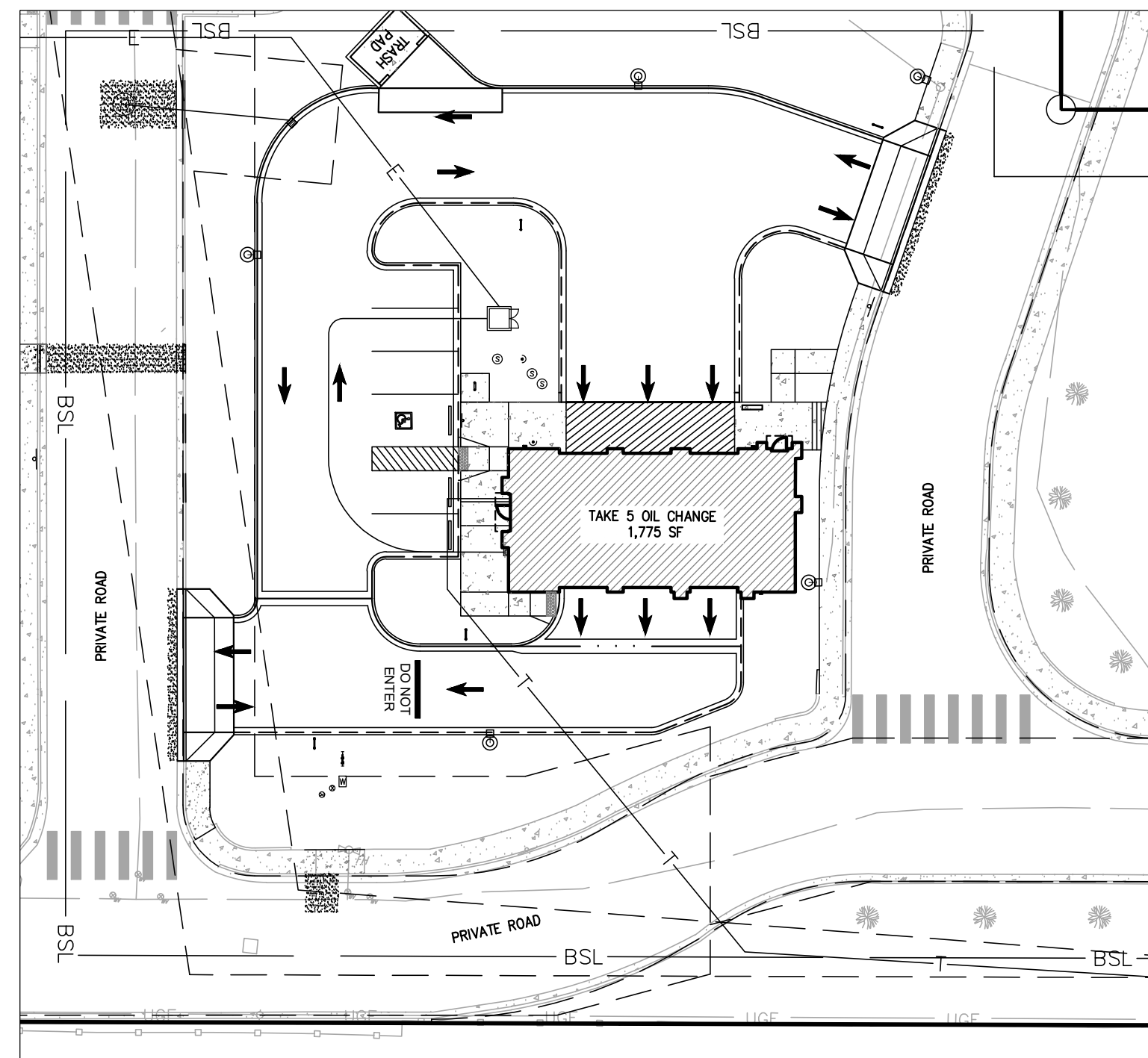
Report Approved By: Bryce Matthews, Assistant Planning Director

LOT 2, HARDING HEIGHTS FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO.

SOUTH LINE OF SOUTHWEST ¼ OF SECTION 15, T6S, R66W, 6TH P.M.

CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LOCATED AT: 10665 S PARKER ROAD, PARKER, CO



SITE MAP
SCALE: 1"=30'



VICINITY MAP
SCALE: 1"=2000'

UTILITY PURVEYORS

WATER/SEWER
PARKER WATER AND SANITATION DISTRICT
LISA SINDALL
(303) 841-4627

NATURAL GAS
XCEL ENERGY
(800) 628-2121

ELECTRIC
CORE ELECTRIC COOPERATIVE
BROOKS KAUFMAN
(303) 688-3100

TELEPHONE
CENTURYLINK
(720) 578-5142

LEGAL DESCRIPTION

LOT 2, HARDING HEIGHTS FILING NO. 1, COUNTY OF DOUGLAS,
STATE OF COLORADO.

ABBREVIATIONS

BC	BACK OF CURB	FS	FINISHED SURFACE
CF	CURB FACE	FG	FINISHED GRADE
EG	EXISTING GRADE	FL	FLOWLINE
EF	EXPOSED FOUNDATION	INV	INVERT
ES	EXISTING SURFACE	RET	RETAINING
FF	FINISHED FLOOR	SW	SIDEWALK
FFE	FINISHED FLOOR ELEVATION	TC	TOP OF CURB

SHEET INDEX

SHEET NO.	SHEET TITLE
1	SITE PLAN COVER SHEET
2	ALTA SURVEY
3	SITE PLAN
4	FLOOR PLAN
5	DUMPSTER SCREEN
6	ELEVATIONS
7	COLOR ELEVATIONS
8	PHOTOMETRIC PLAN
9	LANDSCAPE PLAN
10	LANDSCAPE DETAILS

LAND USE SUMMARY

LOT AREA	1.375 AC / 58,538 SF
ZONE	MIXED-USE COMMUNITY COMMERCIAL RETAIL
PROPOSED USE	NONE
DWELLING UNITS	NONE
TOTAL BUILDINGS	1
BUILDING GFA	1,775 SF
PAVEMENT	35,912 SF

SETBACKS:

REQUIRED	25' BUILDING SETBACK
PROVIDED	
NORTH PROPERTY LINE	101.7' MIN
EAST PROPERTY LINE	102.8' MIN
SOUTH PROPERTY LINE	89.3' MIN
WEST PROPERTY LINE	106.6' MIN

PARKING:

CALCULATION	1 SPACE PER 500 SF GFA
TOTAL REQUIRED	6
TOTAL PROVIDED	6
ACCESSIBLE REQUIRED	1
ACCESSIBLE PROVIDED	1

BICYCLE PARKING:

CALCULATION	2 PER 10,000 SF GFA
REQUIRED	2
PROVIDED	2

LANDSCAPE:

REQUIRED		
PERCENTAGE		15%
AREA	6,527 SF	
PROVIDED		
PERCENTAGE		35.6%
AREA	20,851 SF	

EARTHWORK SUMMARY

ESTIMATED CUT:	87 CUBIC YARDS
ESTIMATED FILL:	182 CUBIC YARDS
ESTIMATED NET:	95 CUBIC YARDS (EXPORT)
STEEPEST PROPOSED SLOPE:	3:1
EXISTING IMPERVIOUS AREA:	22,377 SF (0.51 AC)
PROPOSED IMPERVIOUS AREA:	36,520 SF (0.84 AC)
AREA OF LAND DISTURBANCE:	23,358 SF (0.54 AC)

NOTE:

EARTHWORK QUANTITIES ARE CALCULATED USING AUTOCAD CIVIL 3D TO COMPARE THE DIFFERENCE BETWEEN THE EXISTING SURFACE (CREATED FROM THE SURVEY POINTS PROVIDED BY TAIT & ASSOCIATES) AND THE PROPOSED SURFACE. QUANTITIES ARE RAW NUMBERS TO BE USED FOR PERMIT PURPOSES ONLY. THESE FIGURES TO NOT INCLUDE REMEDIAL QUANTITIES, BULKING OR SHRINKAGE FACTORS. CONTRACTOR SHALL VERIFY QUANTITIES FOR CONSTRUCTION BID PURPOSES.

OVER-EXCAVATION QUANTITY ESTIMATED USING 2" OVER-EXCAVATION AT THE BUILDING FOUNDATION AND 8 INCH OVER-EXCAVATION FOR ALL OTHER PAVED SURFACES. SEE GEOTECHNICAL REPORT FOR DETAILS.

TOWN OF PARKER CONTACTS

BUILDING
JON NELSON
JNELSON@PARKERCO.GOV
(303) 805-3194

SOUTH METRO FIRE
SCOTT STENE
SCOTT.STENE@SOUTHMETRO.ORG
(720) 989-2230

ENGINEERING
ALEX MESTDAGH
AMESTDAGH@PARKERCO.GOV
(303) 805-3204

PLANNING
ELIZABETH STEWARD
ESTEWART@PARKERCO.GOV
(303) 805-3331

UTILITY PURVEYORS

WATER/SEWER
PARKER WATER AND SANITATION DISTRICT
LISA SINDALL
(303) 841-4627

NATURAL GAS
XCEL ENERGY
(800) 628-2121

ELECTRIC
CORE ELECTRIC COOPERATIVE
BROOKS KAUFMAN
(303) 688-3100

TELEPHONE
CENTURYLINK
(720) 578-5142

ARCHITECT

WILLIAM LEE ROBINSON ARCHITECT
133 BETSY DR. CHARLOTTE, NC 28211
704-370-6000
BILL@ROBINSONARCHITECT.COM

CIVIL ENGINEER

TAIT AND ASSOCIATES
320 NORTH LINCOLN AVE LOVELAND,
CO 80537
970-613-1447
BHUMANN@TAIT.COM

GENERAL NOTES

A. **CONTRACT ADMINISTRATION (LIMITED SERVICE):** THE ARCHITECT AND/OR ENGINEER OF RECORD INDICATED HEREIN ARE PROVIDING A LIMITED SERVICE AND NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT WHICH IS THE RESPONSIBILITY OF OTHERS. THE ARCHITECT AND/OR ENGINEER ARE NOT RESPONSIBLE FOR FIELD ACTIVITIES ON THIS PROJECT WITHOUT DIRECT INSPECTION OF THE WORK IN PROGRESS. IF FIELD CONDITIONS ARE UNCOVERED THAT REQUIRE A CHANGE OR ADDITIONAL INFORMATION, THE ARCHITECT AND/OR ENGINEER DOES NOT DELEGATE AUTHORITY TO ANYONE ELSE FOR DETERMINING THE MEANING OF PLANS OR SPECIFICATIONS AS AUTHENTICATED HEREIN.

B. **QUALITY STANDARDS AND BUILDING CODES:** CONTRACTORS SHALL BE RESPONSIBLE FOR KNOWING THE QUALITY AND PUBLIC SAFETY REGULATIONS SET FORTH IN THE GOVERNING CODES AND OTHER APPLICABLE REGULATIONS OF LOCAL AND STATE AGENCIES HAVING JURISDICTION WHICH GOVERN EACH CONTRACTOR'S WORK.

C. **EXISTING CONDITIONS:** FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK. NOTIFY THE ARCHITECT AND/OR ENGINEER OF RECORD IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

BASIS OF BEARINGS:
BEARINGS SHOWN HEREON ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO WHICH BEARS N89°30'00"W

BENCHMARK:
DOUGLAS COUNTY BENCH MARK "1100026"
LOCATED AT THE WESTERLY SIDE OF THE PARKING LOT OF CHALLENGER REGIONAL PARK.
ELEVATION = 5803.58 FEET (NAVD 1988)

PREPARED UNDER THE SUPERVISION OF
TAIT & ASSOCIATES, INC.

DRAWING BY: [blank]
DATE: 07/28/2025
CHECKED BY: [blank]
DATE: 10/21/2025
REVISION #: [blank]
DATE: [blank]
JOB NO.: TF-40680

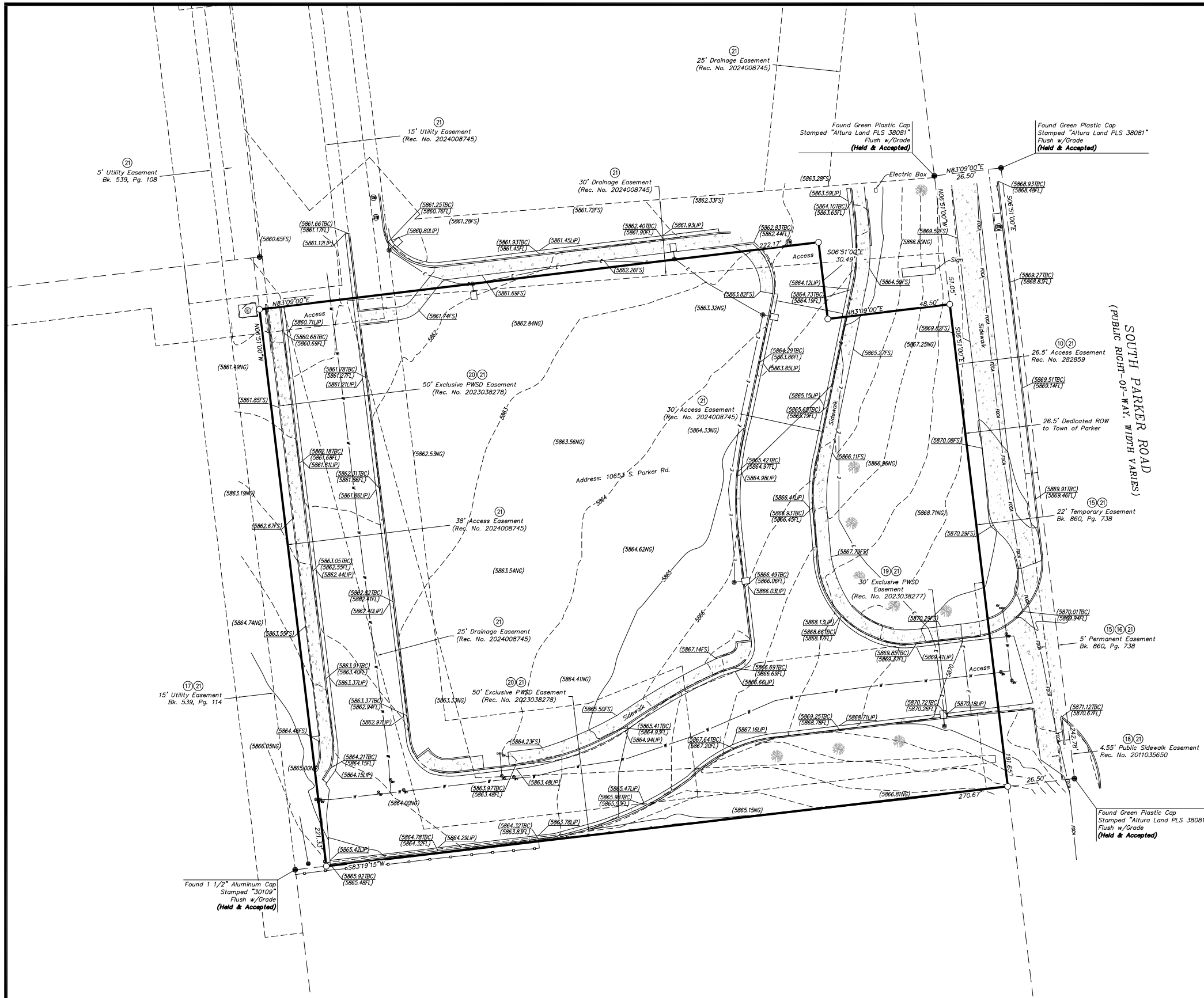
BRANDON HUMANN
COLORADO P.E. 65940

SITE PLAN COVER SHEET
 TAKE 5 OIL CHANGE
 SITE PLAN
 CLAYCON LOT 2, HARDING HEIGHTS FILING NO. 1
 10653 S PARKER ROAD PARKER, CO

TAIT & ASSOCIATES
 320 North Lincoln Avenue
 Loveland, CO 80537
 p: 970.613.1447
 www.tait.com
 ENGINEERING ENVIRONMENTAL BUILDING LAND
 SURVEYING SURVEYING SURVEYING SURVEYING
 Denver
 San Luis Obispo
 Houston
 Dallas
 Since 1964

NO.	DESCRIPTION	BY	DATE

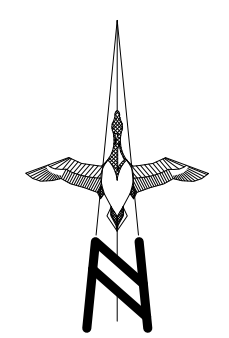




SYMBOL & ABBREVIATION LEGEND	
	CONCRETE PAVEMENT
	CONIFEROUS TREE W/DRIP LINE
	DIAMETER
	DECIDUOUS TREE W/DRIP LINE
	EDGE OF ASPHALT
	FINISHED FLOOR
	FINISH SURFACE
	FIRE HYDRANT
	FLOW LINE
	GAS METER
	GAS VALVE
	IRRIGATION CONTROL VALVE
	LIGHT POLE
	NATURAL GROUND
	PARKING BOLLARD
	POWER POLE
	R.O.W. RIGHT OF WAY
	SEWER MANHOLE
	SIGN POST
	STREET LIGHT STANDARD
	TELEPHONE PEDESTAL
	TYPICAL
	WATER METER
	WATER VALVE

LINE LEGEND	
	SUBJECT PARCEL BOUNDARY LINES
	SECTION LINES
	ADJOINING PARCEL BOUNDARY LINES
	EASEMENT LINES
	RIGHT OF WAY LINES
	RANGE LINES
	SETBACK LINES
	FLOOD PLAIN LINES
	BARBED WIRE FENCE
	CHAINLINK FENCE
	WOOD FENCE
	WROUGHT IRON FENCE
	UNDERGROUND ELECTRIC LINES
	UNDERGROUND GAS LINES
	OVERHEAD ELECTRIC LINES
	UNDERGROUND SANITARY SEWER LINES
	UNDERGROUND TELEPHONE LINES
	UNDERGROUND WATER LINES
	UNDERGROUND STORM SEWER LINES
	UNDERGROUND FIBER OPTIC LINES
	UNDERGROUND CABLE LINES
	SHEET MATCH LINES

MONUMENT NOTES	
	INDICATES FOUND MONUMENT AS NOTED
	INDICATES SET MONUMENT STAMPED PLS 38081
	INDICATES FOUND SECTION MONUMENT AS NOTED

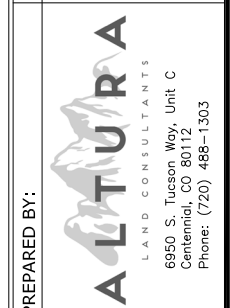


MODIFIED PROJECT COORDINATES			STATE PLANE COORDINATES, CENTRAL ZONE			ALL SHOWN COORDINATES ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD 83)		
POINT	NORTHING	EASTING	ELEV	NORTHING	EASTING	DESCRIPTION		
CP-1	1615970.75	3207072.48	5872.64'	1615970.85	3207072.42	SET PINK PLASTIC CAP		
CP-3	1616763.25	3206434.39	5849.30'	1616763.10	3206434.53	SET CUT CROSS		

THE CONTROL POINTS SHOWN HEREON SHALL BE USED FOR THE DEVELOPMENT OF THE PROJECT. ALTURA LAND CONSULTANTS, LLC WILL NOT BE HELD LIABLE FOR ANY LOSS OR DAMAGE ARISING FROM ANY DEVIATION FROM THE USE OF SAID CONTROL POINTS DURING THE DEVELOPMENT OF THE PROJECT.

Underground Utility Note:
 BURIED UTILITIES AND/OR PIPELINES SHOWN HEREON ARE PER VISIBLE AND APPARENT SURFACE EVIDENCE, RECORD DRAWINGS OF THE CONSTRUCTED UTILITY LINES OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES NOT CONNECTED WITH ALTURA LAND CONSULTANTS, LLC. OR MARKINGS PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF SUCH INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES OR PIPE LINES ARE REQUIRED, THE UTILITY OR PIPELINE WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. ALTURA LAND CONSULTANTS, LLC AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPELINES.

PREPARED FOR:



BY: PREPARED BY:

REVISION DESCRIPTION:

NO. DATE:

PROJECT INFORMATION:

ALTA/NSPS LAND TITLE SURVEY
 TAKE 5
 A PORTION OF THE SW 1/4 OF SEC. 15
 T6S, R66W, OF THE 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS
 COLORADO

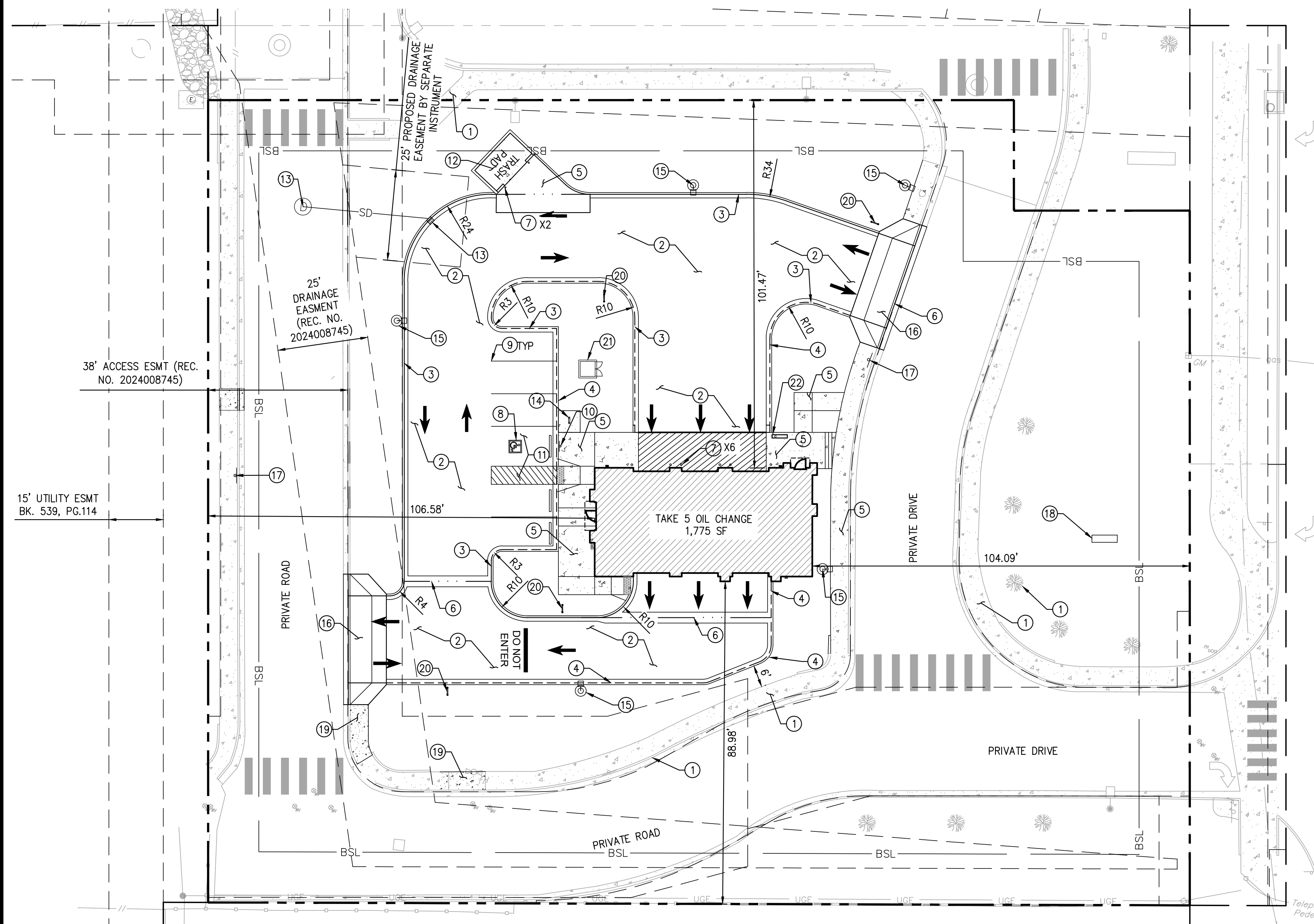
SCALE: 1" = 20'
 DATE: JUNE 12, 2025
 BY: JT
 JOB NO.: 25053

LOT 2, HARDING HEIGHTS FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO.

SOUTH LINE OF SOUTHWEST 1/4 OF SECTION 15, T6S, R66W, 6TH P.M.

CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LOCATED AT: 10665 S PARKER ROAD, PARKER, CO



KEY NOTES

SITE PLAN

- 1 PROTECT EXISTING IMPROVEMENTS IN PLACE.
- 2 PROPOSED ASPHALT PAVING.
- 3 PROPOSED CONCRETE CATCH CURB.
- 4 PROPOSED CONCRETE SPILL CURB.
- 5 PROPOSED CONCRETE SIDEWALK OR DOOR LANDING.
- 6 PROPOSED 3' VALLEY GUTTER.
- 7 PROPOSED BOLLARD. PER DETAIL 2 ON THIS SHEET.
- 8 PROPOSED ACCESSIBLE PARKING SYMBOL.
- 9 PROPOSED 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 10 PROPOSED ACCESSIBLE PARKING SIGN.
- 11 PROPOSED ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) WITH MAXIMUM 2% SLOPE IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- 12 PROPOSED REFUSE ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- 13 PROPOSED STORM DRAIN INFRASTRUCTURE SHOWN FOR REFERENCE.
- 14 PROPOSED BICYCLE RACK PER DETAIL 1 ON THIS SHEET.
- 15 PROPOSED LIGHTPOLES SHOWN FOR REFERENCE ONLY. REFER TO MEP FOR MORE DETAILS.
- 16 PROPOSED DRIVEWAY PER CITY DETAIL 20.
- 17 EXISTING SIGN TO BE RELOCATED.
- 18 PILEON SIGN PER SEPARATE PERMIT.
- 19 PROPOSED SIDEWALK PER DETAIL 4.
- 20 PROPOSED DIRECTIONAL SIGN TO BE APPROVED VIA SEPARATE SIGN PERMIT.
- 21 PROPOSED TRANSFORMER FOR REFERENCE ONLY. REFER TO MEP PLANS FOR DETAILS.
- 22 PROPOSED 6' BENCH. REFER TO LANDSCAPE PLANS FOR DETAILS.

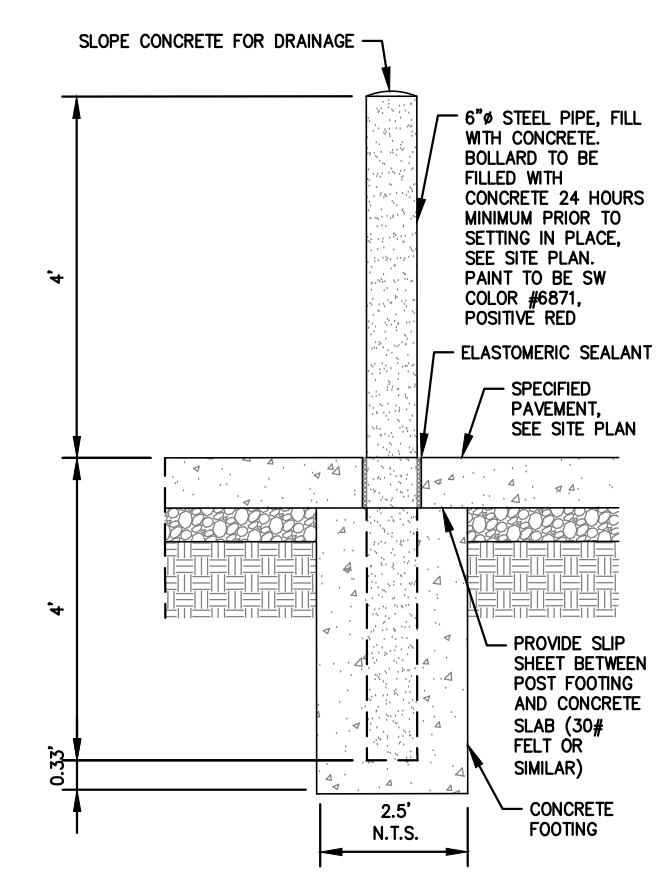
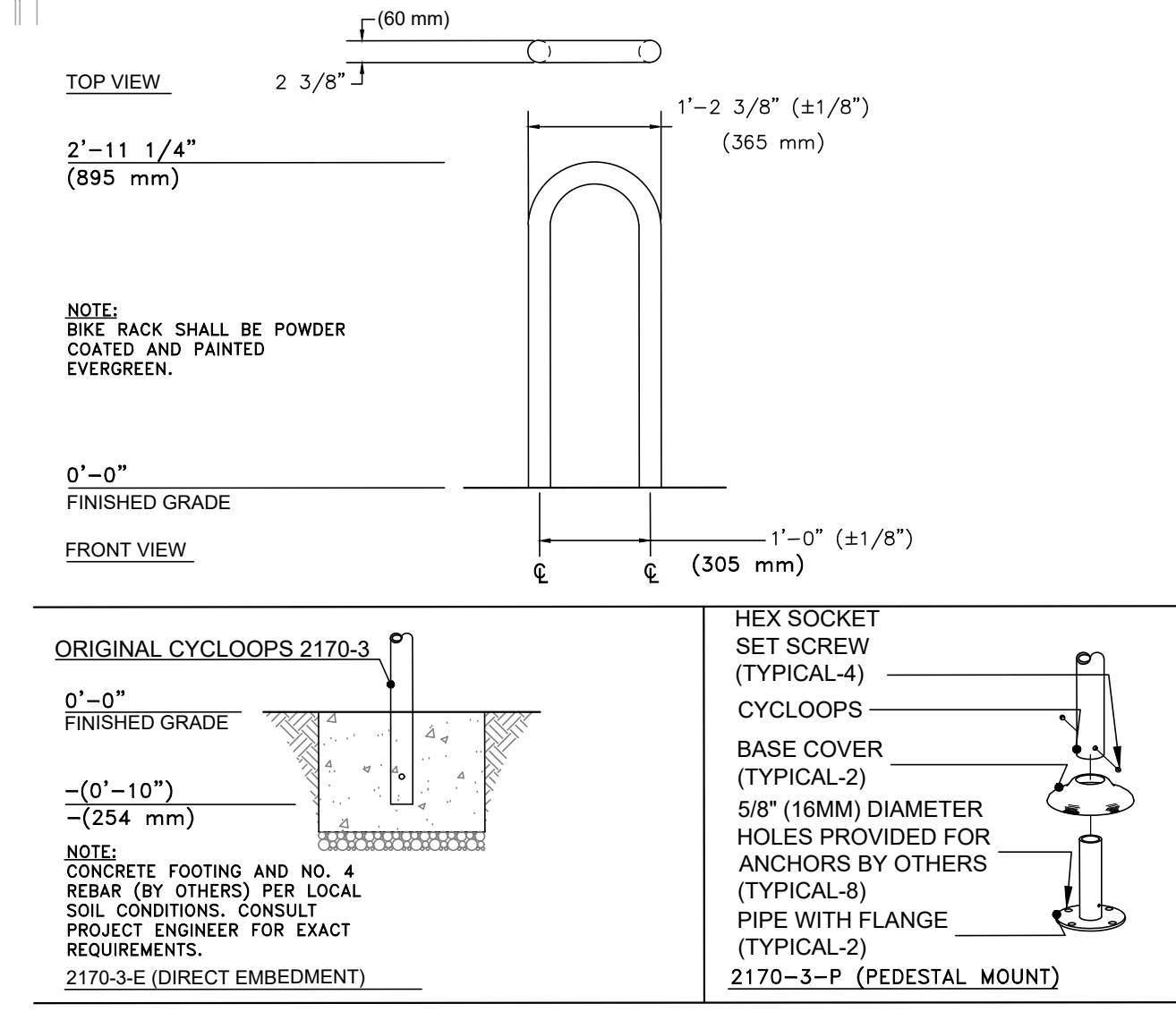
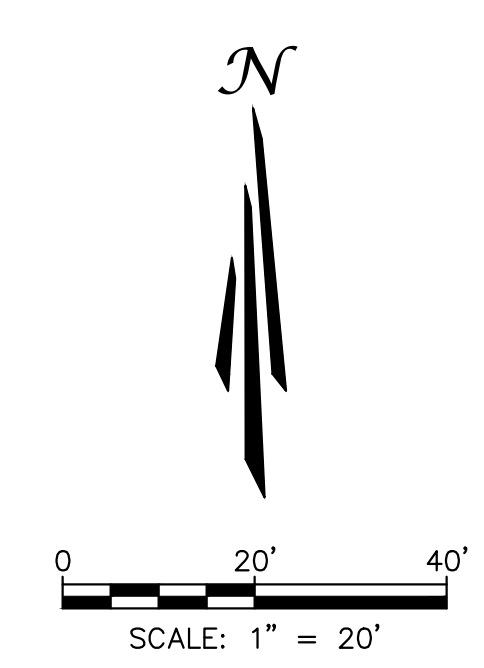
ZONING CODE

ZONING CLASSIFICATION: MIXED-USE COMMUNITY
 PROPERTY AREA: 58,537 SF = 1.34 AC
 PROPOSED BUILDING AREA: 1,775 SF
 PROPOSED PARKING PAVEMENT: 11,977 SF
 PROPOSED SIDEWALK PAVEMENT: 1758 SF

PARKING SUMMARY
 PARKING FORMULA: NONE - DRIVE-THROUGH FACILITY
 SPACE SIZE: 9 FT x 18 FT
 SPACES REQUIRED: 6
 SPACES PROVIDED: 6
 H.C. SPACES PROVIDED: 1

LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- ROAD CENTERLINE
- BUILDING SET BACK
- LIMIT OF DISTURBANCE
- PROPOSED SAWCUT
- PROPOSED CATCH CURB AND GUTTER
- PROPOSED SPILL CURB AND GUTTER
- EXISTING SEWER LINE
- EXISTING STORM LINE
- EXISTING GAS LINE
- EXISTING STORM MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTOR
- PROPOSED SIGN
- PROPOSED BOLLARD



1 BICYCLE PARKING (INVERTED "U")
 SCALE: NTS

2 PIPE BOLLARD
 SCALE: NTS

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

BASIS OF BEARINGS:
 BEARINGS SHOWN HEREON ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO WHICH BEARS N89°30'00"W

BENCHMARK:
 DOUGLAS COUNTY BENCH MARK "1100026"
 LOCATED AT THE WESTERLY SIDE OF THE PARKING LOT OF CHALLENGER REGIONAL PARK.
 ELEVATION = 5803.58 FEET (NAVD 1988)

PREPARED UNDER THE SUPERVISION OF
 TAIT & ASSOCIATES, INC.

DRAWING BK: 102188.171
 DATE: 07/23/2025
 CHECKED: BH
 DATE: 10/21/2025
 REVISION #: 1
 DATE: 10/21/2025
 JOB NO.: TF-40680

BRANDON HUMANN
 COLORADO P.E. 65940

Jan 23, 2026 - 11:25am by bhoumadi \\192.168.171\cadd\Drawings\TF-40680 - parker & long way - parker\GIS\Construction Drawings\TF-40680_SDP.dwg

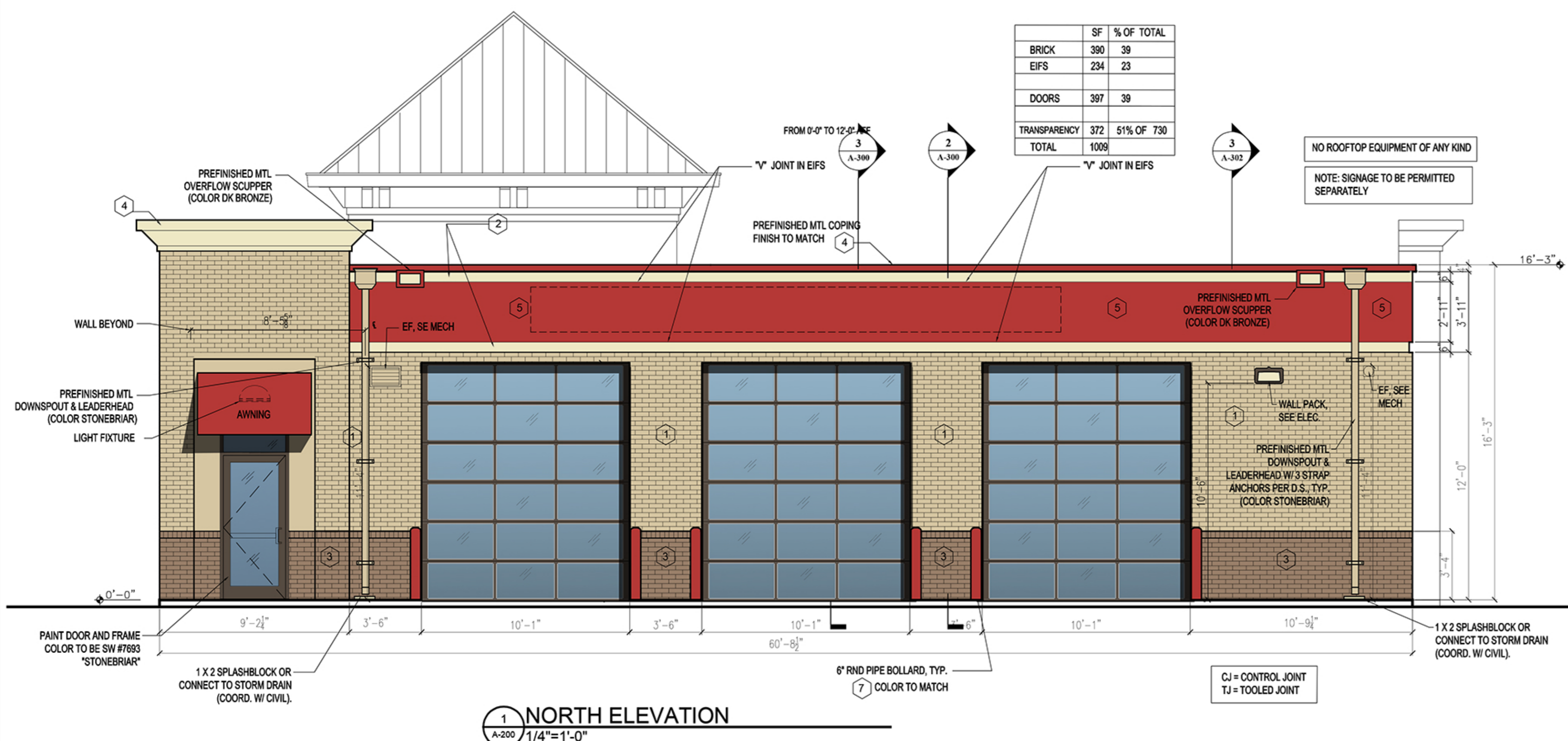


SITE DEVELOPMENT PLAN
 TAKE 5 OIL CHANGE
 SITE PLAN
 CLAYCON-LOT 2, HARDING HEIGHTS FILING NO. 1
 10653 S PARKER ROAD PARKER, CO

TAIT & ASSOCIATES
 320 North Lincoln Avenue
 Loveland, CO 80537
 p: 970.613.1447
 www.tait.com
 ENGINEERING ENVIRONMENTAL BUILDING LAND
 SURVEYING SURVEYING SURVEYING SURVEYING
 Denver
 Fort Collins
 Golden
 Lakewood
 Littleton
 North Platte
 Thornton
 Westminster

NO.	DESCRIPTION	BY	DATE

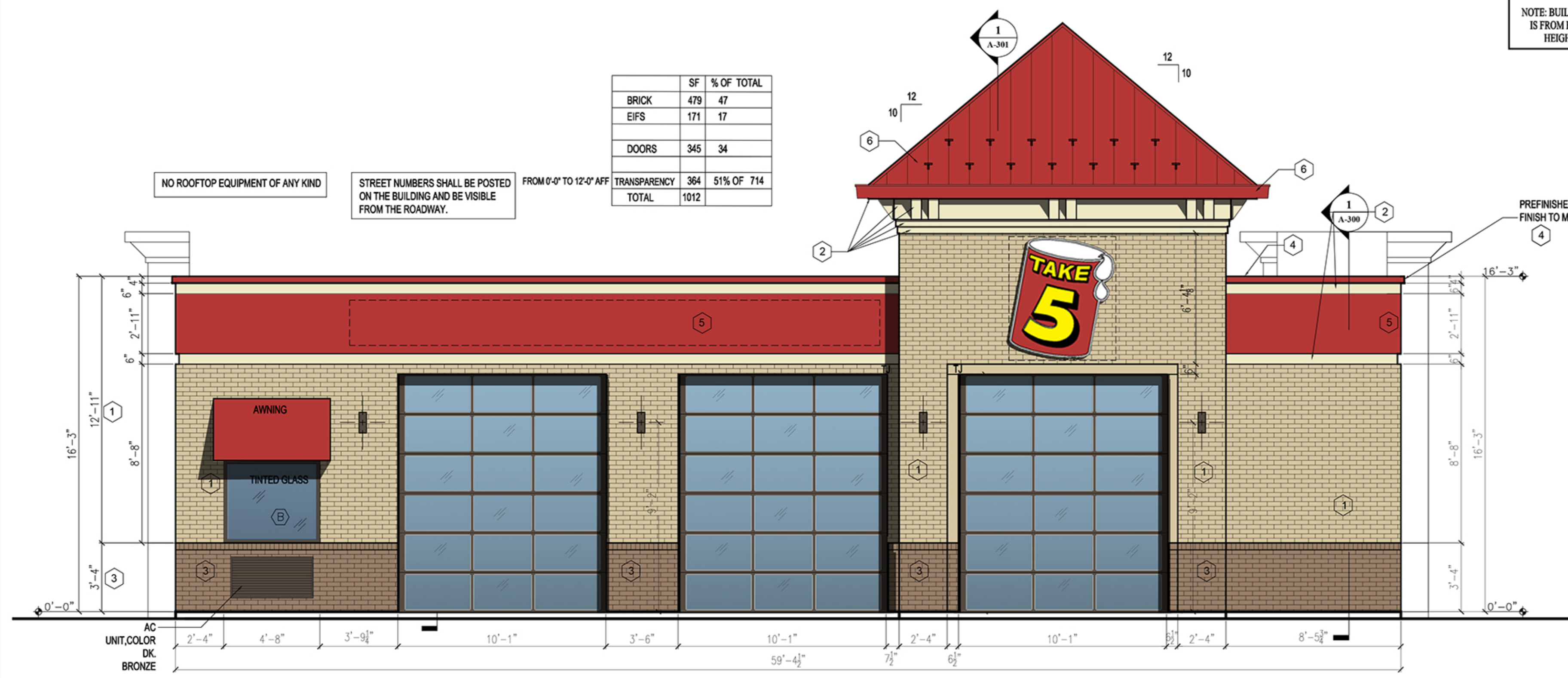
8/25/2025 CONSTRUCTION DOCUMENTS - CITY OF PARKER, CO



1 NORTH ELEVATION
A-200 1/4"=1'-0"



3 EAST ELEVATION
A-200 1/4"=1'-0"

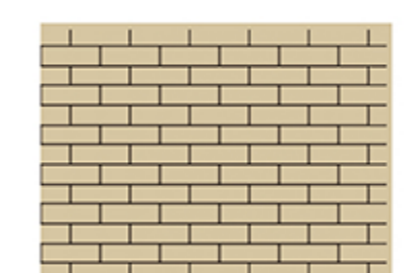


2 SOUTH ELEVATION
A-200 1/4"=1'-0"

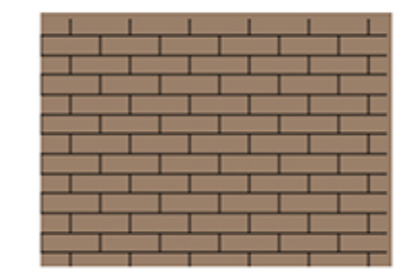


4 WEST ELEVATION
A-200 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	THIN BRICK	SEE SPECIFICATION AND MANUFACTURER'S REQMENTS	SAHARA WIRECUT	BRICK IT THIN BRICK
2	EIFS ACCENT BAND AND FACE EIFS CORNICE	SEE SPECIFICATION AND MANUFACTURER'S REQMENTS	MATCH SW COLOR #7678, COTTAGE CREAM	-----
3	THIN BRICK WAINSCOT	SEE SPECIFICATION AND MANUFACTURER'S REQMENTS	STONE BROWN IRONSPOT	BRICK IT THIN BRICK
4	COPING	SEE SPECIFICATION AND MANUFACTURER'S REQMENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYNAR 500 PREFINISHED
5	EIFS SECONDARY COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQMENTS	MATCH SW COLOR #6871, POSITIVE RED	-----
6	TOWER PREFINISHED STANDING SEAM ROOF	-----	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYNAR 500 PREFINISHED
7	BOLLARDS	SEE SPECIFICATION AND MANUFACTURER'S REQMENTS	MATCH SW COLOR #6871, POSITIVE RED	-----



Thin Brick Siding:
Sahara Wirecut
Brick it Co.



Thin Brick Siding:
Stone Brown Ironspot
Brick it Co.



EIFS Accent Color: Match
SW #7678 Cottage Cream
Metal Coping at Parapet:
SW #7678 Cottage Cream



Doors and Window Frames:
Match SW #6097
Sturdy Brown



Metal Roof and Coping:
Color: Deep Red



EIFS Secondary Color at Sign
Band: SW#6871 Positive Red
Canvas Awning: Color to Match
SW#6871 Positive Red

TAKE 5 OIL CHANGE

PARKER, CO 80005
FOR: CLAYCON DEVELOPMENT
CHARLOTTE NC



William Lee Robinson
Architect

1330 Betsy Dr.
Charlotte, N.C. 28211
bill@robinsonarchitect.com

The Drawing is the property of William Lee Robinson Architect. It shall remain the property of the Architect and shall not be used for any other project without the written consent of the Architect. Copyright ©2022, William Lee Robinson Architect. All other dimensions and quantities are based on these drawings.

REV.	DESCRIPTION

DATE
12/15/25

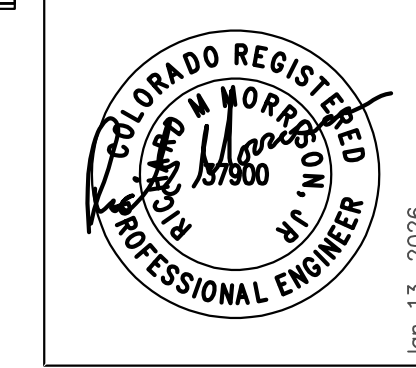
SHEET NAME
ELEVATIONS

SHEET NUMBER
A-200

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Description
	C	4	Lithonia Lighting	OLLWU LED P1 40K MVOLT DBDX	LED	1	OLLWUJes	491	1	14.3	OUTDOOR LED WALL UPLIGHT AND DOWNLIGHT CYLINDER WITH 4000K LEDS AND POLYCARBONATE LENSES 700mA COORDINATE MOUNTING HEIGHTS W/ARCH ELEVATIONS
	E	2	Lithonia Lighting	MRW LED P2 40K SRS MVOLT E20WC DBDX	LED	1		3200	0.8	72	ARCHITECTURAL SCONCE WITH MEDIUM THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS. COATED LAMP MEETS THE NIGHTTIME FRIENDLY CRITERIA. COORDINATE MOUNTING HEIGHTS W/ARCH ELEVATIONS
	S1	5	Lithonia Lighting	DSX1 LED 30C 700 30K T4M MVOLT DUAL MOUNTED HS.	LED	1	DSX1_LED_30C_700_30K_T4M_MVOLT_HS.le	5980	1	68	DSX1 LED with 30 LEDs @ 700 mA, 3000K, TYPE 4 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD. MOUNT @ 25' AFG



2923 South Tryon Street Suite 280
Charlotte, North Carolina 28203
tel 704.373.0668 fax 704.373.0260
MECHANICAL ELECTRICAL PLUMBING



TAKE 5 OIL CHANGE
PARKER, CO 80005
FOR: CLAYCON DEVELOPMENT
CHARLOTTE NC



William Lee Robinson
Architect
1330 Beysy Dr.
Charlotte, N.C. 28211
bill@claycondevelopment.com
OFFICE: 704-370-6000
Cell: 704-953-6422

SEALS

REVISIONS

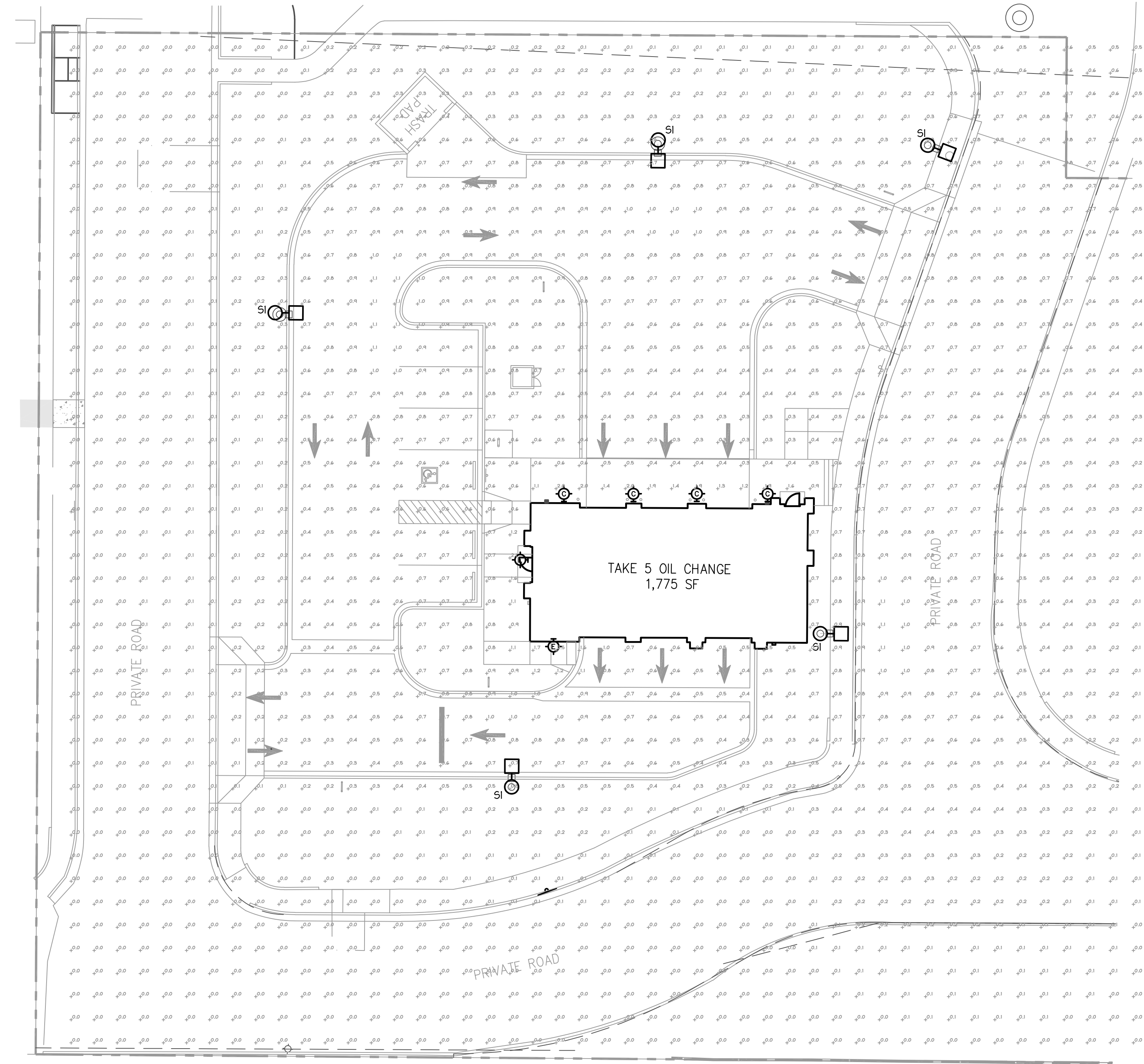
DATE

7/22/25

SHEET NAME

PHOTOMETRIC SITE PLAN

PH-1



1 PHOTOMETRIC SITE PLAN
1/16"=1'-0"

D-Series Size 1 LED Area Luminaire

Specifications
 Efficacy: 120 lm/W
 Length: 33"
 Width: 12"
 Height: 7.12"
 Weight (max): 27 lbs

Capable Luminaire
 This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
 • All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
 • This luminaire is A+ Certified when ordered with DTL* controls marked by a shaded background. DTL* controls marked by a shaded background are compatible with simple commissioning, when ordered with drivers and control options marked by a shaded background.
 To learn more about A+, visit www.acuitybrands.com/aplus.
 1. See ordering tree for details.
 2. A+ Certified Solutions for RQAM require the order of one RQAM node per luminaire. Sold Separately. Link to RQAM Link to DTL DLU.

Ordering Information EXAMPLE: DSX1 LED 40C 1000 40K T3M MVOLT SPA DBDXD

Series	LEDs	Color Temp	Color Temp (CCT)	Beam Angle	Mounting	Shipped In/cluded
DSX1-100	Forward/Back	1300	1000K	175	Spot	Shipped In/cluded
100	30 (3.0 beam angle)	700	1000K	125	Spot	Shipped In/cluded
400	40 (2.0 beam angle)	1000	1000K	125	Spot	Shipped In/cluded
400	40 (2.0 beam angle)	1000	1000K	125	Spot	Shipped In/cluded
400	40 (2.0 beam angle)	1000	1000K	125	Spot	Shipped In/cluded

Control Options

Control Option	Shipped In/cluded	Shipped In/cluded	Shipped In/cluded
DSX1-100	DSX1-100	DSX1-100	DSX1-100
DSX1-100	DSX1-100	DSX1-100	DSX1-100
DSX1-100	DSX1-100	DSX1-100	DSX1-100
DSX1-100	DSX1-100	DSX1-100	DSX1-100
DSX1-100	DSX1-100	DSX1-100	DSX1-100

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

Outdoor General Purpose
OLLWD & OLLWU
 LED WALL CYLINDER LIGHT

Specifications
 Length: 12"
 Width: 4"
 Height: 5.52"
 Weight: 1.12 lbs

Ordering Information EXAMPLE: OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color Temperature (CCT)	Wattage	Finish
OLLWD LED	P1	40K	4000K	DBDX
OLLWD LED	P1	40K	4000K	DBDX
OLLWD LED	P1	40K	4000K	DBDX
OLLWD LED	P1	40K	4000K	DBDX
OLLWD LED	P1	40K	4000K	DBDX

WSQ LED Architectural Wall Sconce

Specifications
 Length: 6.50"
 Height: 2.81"
 Width: 1.81"
 Depth: 5.91"
 Weight: 17 lbs

Optional Back Box (BBW)
 Height: 4"
 Width: 5.52"
 Depth: 1.12"

Ordering Information EXAMPLE: WSQ LED P2 40K SR3 MVOLT DDBTDX

Series	Performance Package	Color Temperature (CCT)	Wattage	Finish
WSQ LED	P2	40K	4000K	DBDX
WSQ LED	P2	40K	4000K	DBDX
WSQ LED	P2	40K	4000K	DBDX
WSQ LED	P2	40K	4000K	DBDX
WSQ LED	P2	40K	4000K	DBDX

Emergency Battery Operation

The emergency battery backup (EBBC) is a 12V battery pack that is integrated into the luminaire. It is designed to provide 90 minutes of emergency lighting. The EBBC is a 12V battery pack that is integrated into the luminaire. It is designed to provide 90 minutes of emergency lighting. The EBBC is a 12V battery pack that is integrated into the luminaire. It is designed to provide 90 minutes of emergency lighting.

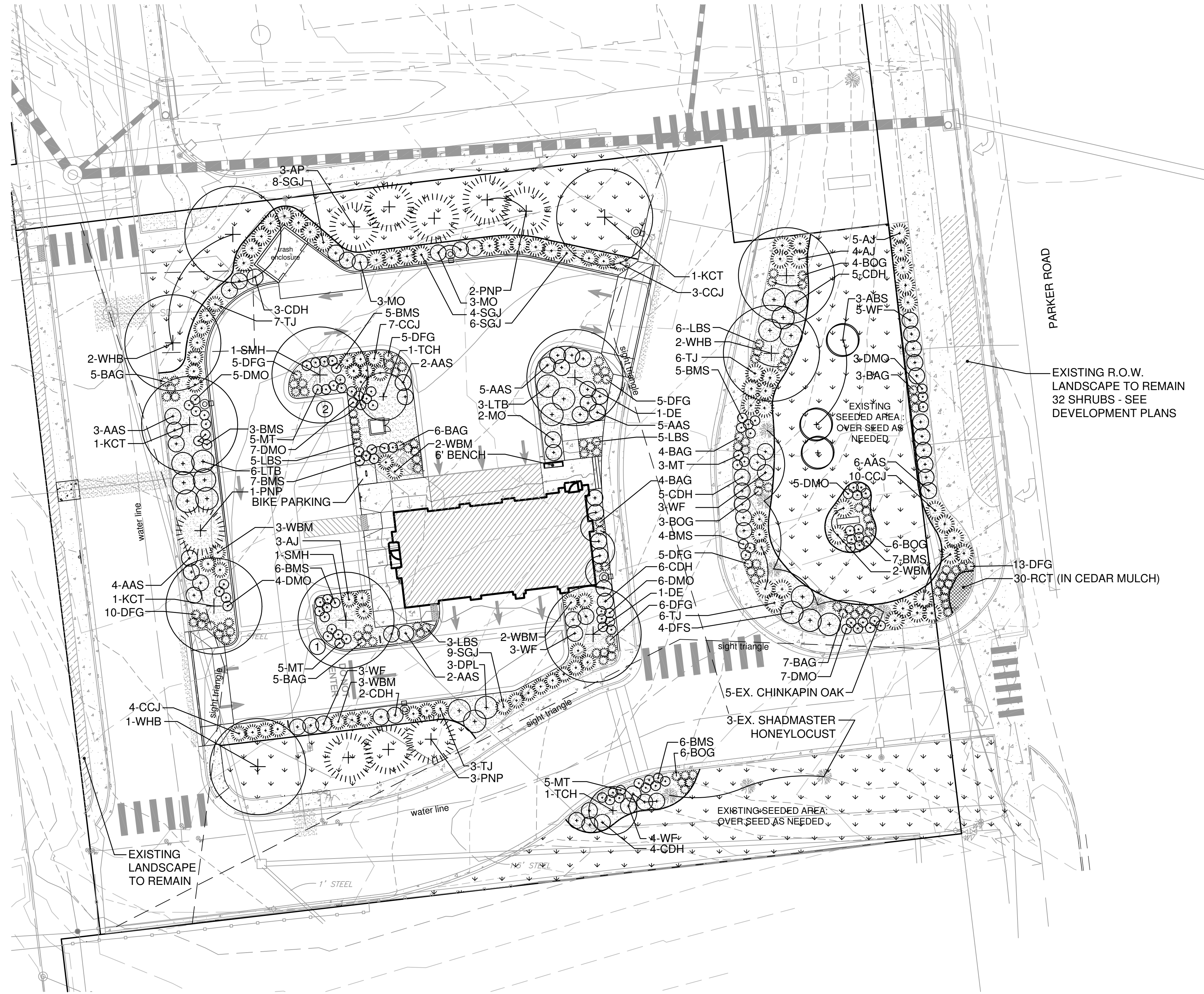
TAKE 5 OIL CHANGE

LOT 2, HARDING HEIGHTS FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO.

SOUTH LINE OF SOUTHWEST 1/4 OF SECTION 15, T6S, R66W, 6TH P.M.

CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LOCATED AT: 10653 S PARKER ROAD, PARKER, CO

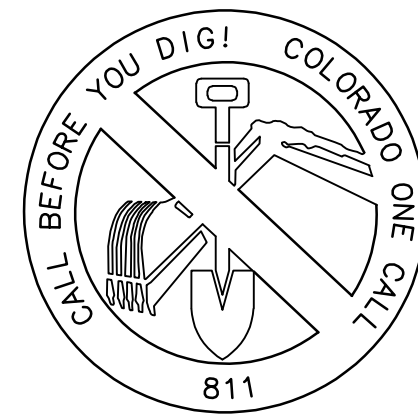
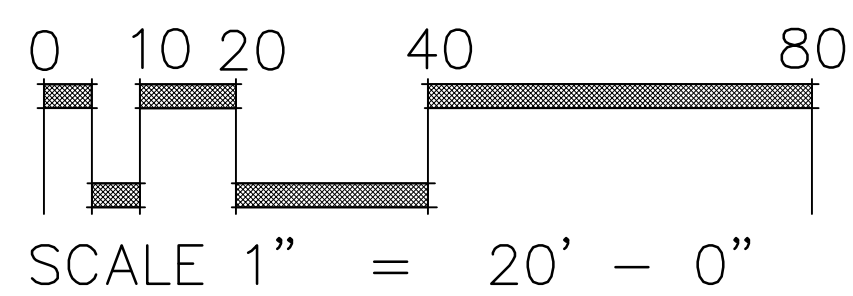


PLANT SCHEDULE

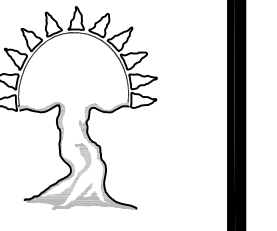
QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE / CONDITION
DECIDUOUS CANOPY TREES				
5	SMH	SHADEMASTER HONEYLOCUST (3 EXISTING)	GLEITSIA TRIACANTHOS INERMIS SHADEMASTER	2 1/2" CAL. SPECIMEN
2	DE	DISCOVERY ELM	ULMUS DAMBIANA JAPONICA 'DISCOVERY'	2 1/2" CAL. SPECIMEN
5	WHB	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	2 1/2" CAL. SPECIMEN
3	KCT	SEEDLESS KENTUCKY COFFEETREE	GYNOCALADUS DIOICUS ESPRESSO	2 1/2" CAL. SPECIMEN
5	CO	CHINKAPIN OAK (EXISTING)	QUERCUS MUEHLENBERGII	2 1/2" CAL. SPECIMEN
EVERGREEN TREES				
3	AP	AUSTRIAN PINE	PINUS NIGRA	6' HT. SPECIMEN
6	PNP	PINON PINE	PINUS EDULIS	6' HT. SPECIMEN
ORNAMENTAL TREES				
2	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI INERMIS	2" CAL. SPECIMEN
3	ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL. SPECIMEN
EVERGREEN SHRUBS				
24	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	#5 CONT.
22	TJ	TAMMY JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA'	#5 CONT.
12	AJ	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	#5 CONT.
27	SGJ	SEA GREEN JUNIPER	JUNIPERUS X MEDIA 'SEA GREEN'	#5 CONT.
12	WBM	WHITE BUD MUGO PINE	PINUS MUGO 'WHITE BUD'	#5 CONT.
DECIDUOUS SHRUBS				
18	MT	MORMAN TEA	EPHEDRA VIRDIS	#5 CONT.
43	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	#5 CONT.
37	DMO	SNOWBELLE MOCK ORANGE	PHILADELPHUS X 'SNOWBELLE'	#5 CONT.
21	AAS	CREeping THREE LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	#5 CONT.
8	MO	CHEYENNE MOCKORANGE	PHILADELPHUS LEWISII CHEYENNE	#5 CONT.
18	WF	WAXFLOWER	JAMESIA AMERICANA	#5 CONT.
25	CDH	CLAVEY'S DWARF HONEYSUCKLE	LONICERA X XYLSTEOIDES 'CLAVEY'S DWARF'	#5 CONT.
3	DPL	DARK PURPLE LILAC	SYRINGA VULGARISLUDWIG SPAETH'	#5 CONT.
4	DFS	DWARF FRAGRANT SUMMAC	RHUS AROMATICA 'ORO-LOW'	#5 CONT.
9	LTB	LILAC TIME BROOM	CYSTIS X 'LILAC TIME'	#5 CONT.
ORNAMENTAL GRASSES				
49	DFG	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMLIN'	#1 CONT.
34	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	#1 CONT.
19	LBS	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	#1 CONT.
19	BOG	BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS	#1 CONT.
PERENNIALS				
30	RCT	RED CREEPING THYME	THYMUS PRAEOX 'OCCINEUS'	#1 CONT.

LANDSCAPE NOTES

- ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAIL. ALL TREES SHALL BE STAKED PER DETAIL FOR A PERIOD OF ONE YEAR. DECIDUOUS TREES ARE TO BE WRAPPED FOR THE FIRST WINTER SEASON, SEE SPECIFICATIONS.
- ALL AREAS TO BE PLANTED ARE TO RECEIVE SOIL PREPARATION OF 5 C.Y. PER 1000 S.F. OF PREMIUM 3 SOIL AMENDMENT. SUBMIT DELIVERY TICKETS TO L.A. FOR VERIFICATION OF QUANTITIES & MATERIAL.
- ALL PLANTING BEDS ARE TO RECEIVE A MINIMUM 3" MULCH OVER A WEED CONTROL FABRIC. USE 2-3" ROCK (MATCH QUICK TRIP). TREES SHALL ALL GET A 3' DIA. MULCH RING WITH 3" DEPTH GORILLA HAIR CEDAR MULCH. PERENNIAL BEDS GET CEDAR MULCH, NO WEED FABRIC.
- ALL PLANTING BEDS ARE TO BE CONTAINED BY A 4" INTERLOCKING STEEL EDGER, RYERSON OR OTHER APPROVED BY L.A.. EDGER IS NOT REQUIRED WHEN ADJACENT TO CONCRETE WALKS OR AROUND TREE RINGS.
- A "SPECIMEN" TREE REFERS TO A TREE BEING OF SYMMETRICAL SHAPE WITH ONE MAIN LEADER AND A MINIMUM HEIGHT OF 8 FEET FOR DECIDUOUS ORNAMENTAL TREES AND A MINIMUM HEIGHT OF 12 FEET FOR DECIDUOUS SHADE TREES.
- THE LANDSCAPER IS NOT TO START SOIL PREPARATION ACTIVITIES UNTIL MAJOR SITE GRADING HAS BEEN ACCEPTED AND IS WITHIN +/- 1.25 INCHES OF FINAL GRADE. WORK INITIATION BY THE LANDSCAPE CONTRACTOR SIGNIFIES THAT THE CONTRACTOR ACCEPTS THE GRADING AND IS RESPONSIBLE FOR FINAL GRADES SPECIFIED ON GRADING PLANS.
- ALL PLANT SUBSTITUTIONS, INCLUDING PERENNIALS, SHRUBS, AND TREES MUST BE APPROVED WITH THE LANDSCAPE ARCHITECT AND THROUGH A TOWN SITE PLAN AMENDMENT OR ADJUSTMENT.
- LANDSCAPING WILL BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES & SHRUBS WILL BE DRIP IRRIGATED. QUICK COUPLERS WILL BE PROVIDED TO ESTABLISH NATIVE GRASS AREAS. THE SYSTEM WILL HAVE A RAIN SENSOR.



NO.	DESCRIPTION	REVISIONS	BY	DATE



Sunlit Designs, LLC
Landscape Architecture & Planning
8910 Ralston Road
Unit 202, D
Arvado, CO 80002
(P)303-909-3850
www.sunlitdesigns.com

LANDSCAPE PLAN
TAKE 5 OIL CHANGE
SITE PLAN
CLAYCON LOT 2, HARDING HEIGHTS FILING NO. 1
10653 S PARKER ROAD PARKER, CO

DRAWN BY: [blank]
DATE: 01-12-25
CHECKED/SID: [blank]
DATE: 01-12-25
REVISION #: [blank]
DATE: [blank]
JOB NO.: TF4001A

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

1/12/2026 CONSTRUCTION DOCUMENTS - CITY OF PARKER, CO

TAKE 5 OIL CHANGE

LOT 2, HARDING HEIGHTS FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO.

SOUTH LINE OF SOUTHWEST 1/4 OF SECTION 15, T6S, R66W, 6TH P.M.

CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LOCATED AT: 10653 S PARKER ROAD, PARKER, CO

LANDSCAPE ISLANDS TABLE

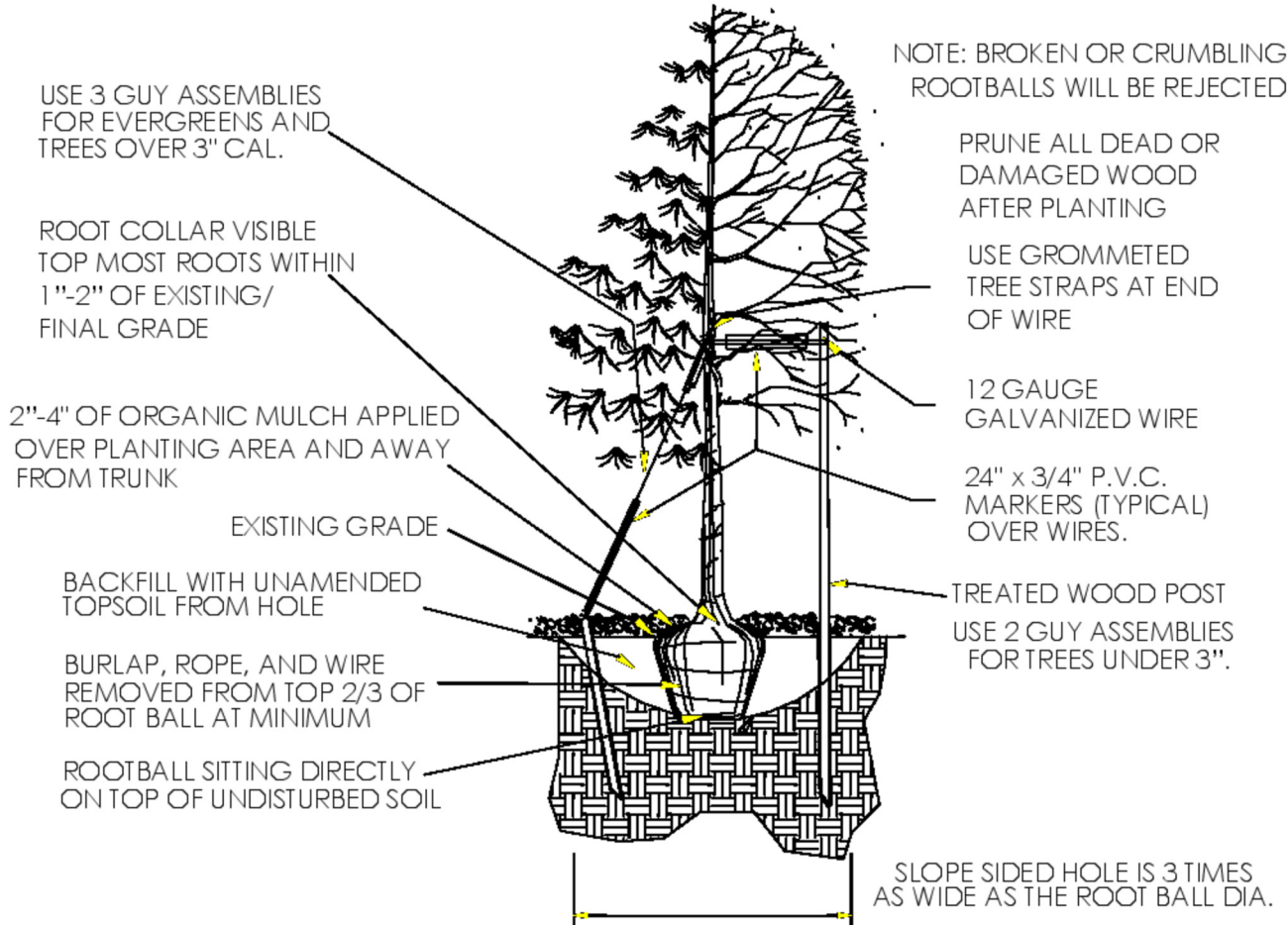
ISLAND	SIZE SF	# TREES	# SHRUBS	# O.GRASS
1	298	1	14	5
2	195	1	10	5

TOWN OF PARKER SEED MIX 3

- 25% EPHRAIM CRESTED WHEATGRASS
- 23% SHEEP FESCUE
- 18% PERENNIAL RYEGRASS
- 13% CANADA BLUEGRASS
- 12% BARLEY OR OATS
- 9% BLUE FESCUE

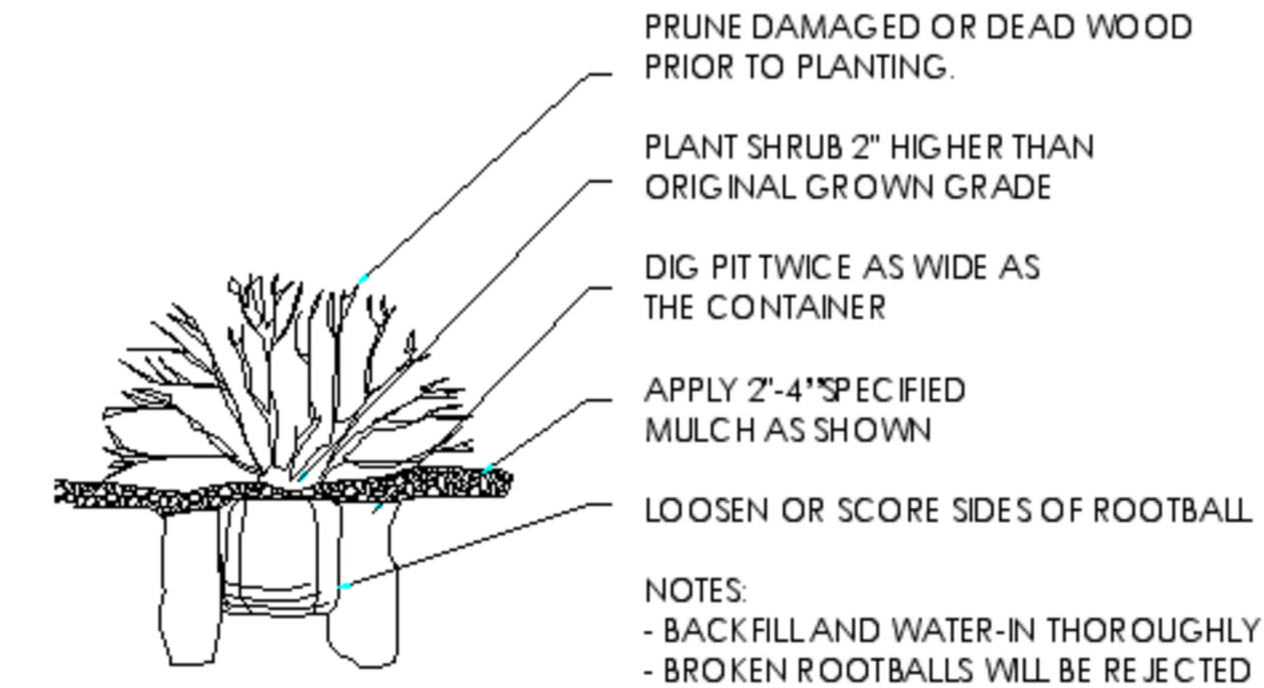
SEEDING RATE:
DRILLED: 25 LBS. / ACRE
BROADCAST: 50 LBS. / ACRE

TOWN OF PARKER PLANTING STANDARDS



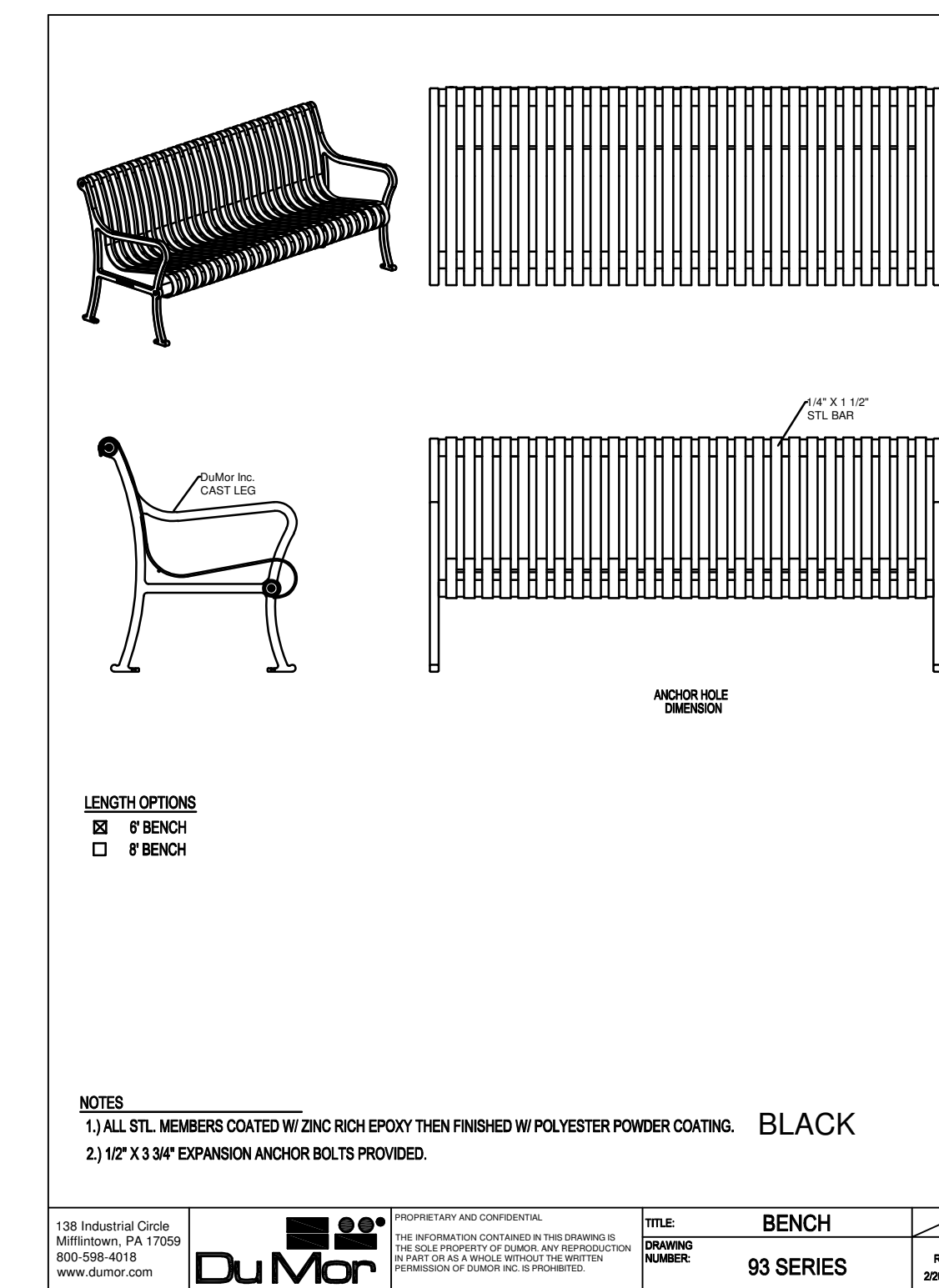
- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

TOWN OF PARKER PLANTING DETAIL - SHRUBS



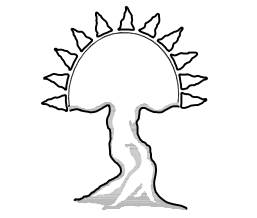
6' BENCH

N.T.S.



LANDSCAPE CALCULATIONS

INTERNAL LANDSCAPING		REQUIRED	PROVIDED	% LIVE COVER (75%)	SURPLUS / DEFICIT
NET SITE AREA	58,338 SF	15%	38.7%		
LANDSCAPE AREA	22,593 SF	8,750.7	22,593	8,324 SF BEDS 6,243 SF COVERAGE (75%)	
INTERNAL LANDSCAPE AREA (1 TREE/5 SHRUBS PER 1000 SF)	1,820 SF	2 TREE/13 SHRUBS	2 TREE/48 SHRUBS 30 O.G.		+ 39 SHRUBS
STREETSCAPE LANDSCAPING		LENGTH	TREE REQUIREMENT 1/40 LF	SHRUB REQUIREMENT 5/40 LF	TREE EQUIVALENT CALC.
			REQUIRED	PROVIDED	SURPLUS / DEFICIT
PARKER ROAD	221 LF	6	0		(32 EX. SHRUBS) 24 NEW SHRUBS, 16 O.G. 6 TREE EQUIVALENT
					-6 TREE PLACEMENT NOT POSSIBLE DUE TO UTILITY CONFLICTS, SEE APPROVED DEVELOPMENT PLANS
LANDSCAPE PERIMETER (P1-MINOR)		LENGTH	TREE REQUIREMENT 1/40 LF	SHRUB REQUIREMENT 5/40 LF	TREE EQUIVALENT
			REQUIRED	PROVIDED	SURPLUS / DEFICIT
NORTH PL	270'	7 TREES / 34 SHRUBS	7 TREES / 30 SHRUBS/5 O.G.		-3 SHRUBS
EAST PL	221'	6 TREES / 28 SHRUBS	10 TREES / 56 SHRUBS/29 O.G.		+4 TREES +37 SHRUBS
SOUTH PL	270'	7 TREES / 34 SHRUBS	9 TREES / 55 SHRUBS/12 O.G.		+2 TREES +25 SHRUBS
WEST PL	221'	6 TREES / 28 SHRUBS	5 TREES / 35 SHRUBS/15 O.G.		+12 SHRUBS / -1 TREE
EVERGREEN TREE REQUIREMENT - OVERALL SITE		REQUIRED 25%	PROVIDED (EVERGREEN)	SURPLUS / DEFICIT	
TOTAL TREES	34 PROVIDED	9 EVERGREEN REQUIRED	9 EVERGREEN PROVIDED		0
TOTALS				+5 TREES	+110 SHRUBS



Sunlit Designs, LLC
Landscape Architecture & Planning
8910 Ralston Road
Unit 202 D
Arvado, CO 80002
(P)303-909-3850
www.sunlitdesigns.com

LANDSCAPE DETAILS
TAKE 5 OIL CHANGE
SITE PLAN
CLAYCON-LOT 2, HARDING HEIGHTS FILING NO. 1
10653 S PARKER ROAD PARKER, CO

DRAWN BY: BK
DATE: 01-12-25
CHECKED/SID
DATE: 01-12-25
REVISION #:
DATE:
JOB NO.: TF4001A

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

FOR REVIEW ONLY - NOT FOR CONSTRUCTION