



PLANNING COMMISSION MEETING

7:00 PM

May 26, 2022

Public comment on agenda items may be made in person or via Zoom.

Virtual Public Participation by Zoom Webinar: Instructions on how to participate in the public comment or public hearing part of the meeting are available by viewing the individual Town Council meeting listings on the Town's online calendar at <http://www.parkeronline.org/calendar>.

Public Viewing Only - Facebook Live: Town Council meetings may be viewed through Facebook Live from the Town of Parker website: www.facebook.com/townofparkerco.

PLEASE NOTE: Public participation is NOT available through Facebook Live.

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **ADDITIONS TO OR DELETIONS FROM THE AGENDA**
5. **PUBLIC HEARINGS**
 - A. **Parker Auto Plaza F2 AMD 3 L1B B2 - Auto Body Shop UbSR**

Applicant:	AutoMart USA
Location:	Located on the west side of Ponderosa Drive north of Lincoln Avenue
Department:	Community Development, Julia Duncan
TRAKiT No.:	Z22-005
6. **PLANNING COMMISSION ITEMS**

7. **STAFF ITEMS**

8. **ADJOURNMENT**



Planning Commission Staff Report

Planning Commission Date: 5/26/2022

Town Council Date: 6/6/2022

Hearing Type: Public Hearing
Parker Auto Plaza F2 AMD 3 L1B B2 - Auto Body Shop UBSR
TRAKiT No: Z20-005

Location: The site is located on the west side of Ponderosa Drive north of Lincoln Avenue.

Project Planner: Julia Duncan, Associate Planner

Applicant: Auto Mart, USA

Executive Summary: The applicant, Auto Mart USA, is proposing a Use by Special Review to allow for a paint booth in an existing auto body shop.

Staff Recommendation: Approval with Conditions

RECOMMENDED MOTION

"I move the Planning Commission recommend Town Council approve the Parker Auto Plaza F2 AMD 3 L1B B2 - Auto Body Shop Use by Special Review request to allow a paint booth in an existing auto body shop subject to the ten (10) conditions contained in staff's report:"

- 1. A Site Plan approval shall be required prior to the issuance of building permits.*
- 2. All mechanical equipment shall be screened from public view.*
- 3. All signage for this site and building will be required to meet the Town of Parker Sign Code Chapter 13.09 and will require a separate sign permit application submittal.*
- 4. A building permit shall be required for any interior or exterior work completed on site.*
- 5. Damaged cars shall be stored/parked within an area screened from public view by a solid fence.*
- 6. Auto body repair work shall be limited to the inside of the building and shall not occur outside.*

7. *Decorative lighting on building and canopy shall be shielded or removed.*
8. *Operations will comply with all applicable state and federal hazardous material and air and water quality standards.*
9. *Landscaping shall be alive and in compliance with the approved site plan.*
10. *This approval shall expire twelve (12) months after the date of approval unless a building permit has been applied for and a Site Plan Amendment for site improvements has been approved. The Community Development Director, upon written request, may grant a ninety-(90) day extension.*

ALTERNATIVE MOTIONS

"I move the Planning Commission recommend Town Council approve the zoning request, subject to the following conditions:"

-List proposed conditions

"I move the Planning Commission recommend Town Council deny the zoning as the request does not meet the following approval criteria:"

-List criteria not met (either by staff or Planning Commission)

"I move the Planning Commission vote to continue the zoning to a future date."

I. BACKGROUND/DISCUSSION

The Parker Auto Plaza PD was established in 2002 as a receiving zone for auto sales and repair in the Town. The Parker Auto Plaza Planned Development 3rd Amendment establishes standards for the development of property within the guide with common themes throughout. Specifically, the purpose of the Commercial Use Areas of the PD is to provide planned, orderly development, meeting the automotive and retail needs of the community as it develops.

On December 13, 2021, Town Council adopted revisions to The Parker Auto Plaza Planned Development Guide to expand the permitted uses within the Commercial Use Areas. Service Establishments was expanded to include, “Automotive Repair, Major: An establishment primarily engaged in providing vehicle repair, body work, mechanical repair of engines and drive trains, and/or painting,” as a Use by Special Review. Automotive Repair, Major as a UbSR permits additional automotive services to meet community demand, but requires an enhanced level of review evaluation under the nine (9) special review criteria by the Town Council at a public hearing.

The Parker Auto Plaza PD zoning incorporates development standards for uses to mitigate potential impacts, such as the required screening of all roof-mounted equipment. Section III.D of the PD zoning also contains design standards for commercial uses including criteria for lot size, setbacks, building height, floor area ratio, building orientation and materials. The PD zoning requires adherence to all state regulations for air quality since automotive uses may have air quality impacts.

The requested Use by Special Review is for a proposed collision repair center. The facility will be used principally to recondition cars for sale by local car dealers. The focus will be on lightly damaged vehicles that can be quickly repaired, painted, detailed, and sent to the dealer for sale. The shop will employ four body technicians, two painters, two body/paint helpers, a detailer, a manager, an estimator and one office manager. The goal is to move cars out of the shop within one week of arrival. No long-term storage of vehicles is intended. The shop, when completed, will have six workstations for disassembly, repair, and reassembly. One area will be reserved for estimation and quality control and one bay will be used for detail. The painting portion of the facility will consist of a double paint booth and a mixing room. The paint booths will be located on the north end of the building. It is intended that vehicles will enter through the South roll up doors and progress through the various workstations. The last stop will be the paint booths. They will exit through the north doors when paint work is complete. All painting will be contained within the paint booths. No painting will be performed in other areas of the building or property. The paint booth is a new, state of the art unit compliant with all applicable regulations. It will be properly vented to provide a safe environment for employees and to prevent escape of by-products.

The screened area of the parking lot can accommodate 27 vehicles. There is a covered parking area just north of the screened area to temporarily park vehicles that have been completed and are awaiting delivery to clients. Customer and employee parking will be located between the covered parking area and the building (16 spaces) and to the north of the building (5 spaces).

Except for the screening wall, all new construction will be inside or on top of the existing building. The screening of the roof vents is detailed on the site plan submitted with this site plan amendment application.

Vicinity Map



II. PRIOR ACTIONS

Date	Action
April 1, 2002	Town Council approved the Parker Automotive Plaza PD Guide and Plan.
April 15, 2004	Town Council approved the Parker Automotive Plaza PD, 1 st Amendment
June 19, 2004	Town Council approved the final plat for the Parker Automotive Property.
July 19, 2021	Town Council approved the Parker Auto Plaza PD, 2 nd Amendment
December 13, 2021	Town Council approved the Parker Auto Plaza PD, 3 rd Amendment

III. CURRENT SITE DATA

Existing Zoning	PD - Planned Development		
Overlay District	N/A		
PD & Plan Area	Parker Auto Plaza PD		
Master Plan Area	Central Commercial		
Site Acreage	1.943 acres		
Subdivision	Parker Auto Plaza		
Existing Use	Automotive Repair Facility		
Surrounding Uses			
	Master Plan Land Use	Zoning	Existing Use
North	Central Commercial	PD – Planned Development	Global Village Academy Douglas County
South	Central Commercial	PD - Planned Development	Parker Four Wheel Drive & Auto Repair
East	Central Commercial	PD - Planned Development	CarMax
West	Central Commercial	PD - Planned Development	Detention Pond and Open Space

IV. PARKER 2035 MASTER PLAN

[Parker 2035 Master Plan | Town of Parker - Official Website](#)

MASTER PLAN CONSISTENCY	
Master Plan Designation	Choose an item. ☒ Consistent ☐ Inconsistent
Master Plan Character Discussion	<u>The Central Commercial District</u> encompasses the commercial core of the Town. Due to its central location, with access to Parker Road, Dransfeldt Road and Twenty Mile Road and current land uses, growth in this Character Area should focus on core retail, services, offices, lodging, restaurants, entertainment and, to a lesser extent, higher density residential uses as part of a development with a mix of uses and a design that focuses on vehicular and pedestrian connectivity between uses. Vertical mixed use is highly encouraged where appropriate.
Consistent Goals/Strategies	Land Use 1.C Land Use 1.H Jobs and Economic Vitality I.2 Jobs and Economic Vitality I.2.A Jobs and Economic Vitality I.2.B

	Jobs and Economic Vitality I.2.D Jobs and Economic Vitality I.2. E
Staff Analysis	The Parker Auto Plaza Planned Development is generally located on the east and west side of Twenty Mile Road between Pine Lane and Lincoln Avenue within the Central Commercial Character Area as designated by the Parker 2035 Master Plan. This area is intended to provide commercial uses which focus on retail, services, lodging, restaurants, and entertainment. The proposed Use by Special Review would allow Major Automotive Repair work, which includes repair, body work, mechanical repair of engines and drive trains, and/or painting in an existing automotive repair facility. The automotive repair facility and paint booths will occupy an existing building and developed site and is consistent with the Master Plan's designation of the area as a Central Commercial Character Area. The automotive repair facility and paint booths will provide an additional service for residents within the Parker Auto Plaza PD. The addition of <i>Automotive Repair, Major</i> will enhance the economic viability of the commercial development by providing additional services consistent with the Central Commercial Character Area Based on this analysis, staff has determined that the request is consistent with the Parker 2035 Master Plan.

V. LAND DEVELOPMENT ORDINANCE

DEVELOPMENT POTENTIAL (Rezoning)			
Provisions	As recommended by the Master Plan	Proposed	Analysis
Units Per Acre	N/A	The proposed zoning is to allow a Use by Special Review for “Automotive Repair, Major” within the prescribed Commercial Use Area and does not affect or impact density.	☐ Consistent ☐ Inconsistent ☐ No Change ☒ N/A
Allowed Uses	Service Establishment Uses; Uses by Special Review: 1. Automotive Repair, Major	“Automotive Repair, Major: An establishment primarily engaged in providing vehicle repair, body work, mechanical repair of engines and drive trains, and/or painting.”	☒ Consistent ☐ Inconsistent ☐ No Change
Height/Stories	N/A	N/A	☐ Consistent ☐ Inconsistent ☒ No Change
Lot Size	N/A	The existing lot is 1.943 Acres.	☒ Consistent ☐ Inconsistent ☐ N/A
Lot Coverage	N/A	The proposed use will not alter the existing building lot coverage.	☒ Consistent ☐ Inconsistent ☐ N/A
Landscaping	Title 13.06.070	The proposed use is required to maintain the on-site landscaping and previous landscaping approval which will be approved through the Site Plan process and inspections.	☒ Consistent ☐ Inconsistent ☐ N/A
Off-Street Parking	Title 13.06.050 : The minimum parking requirements for an Auto Service and repair shop is 1 per	The collision repair shop is providing required parking consistent with code requirements.	☒ Consistent ☐ Inconsistent ☐ N/A

	450 s.f. NLA, plus 3 per bay or stall.		
Miscellaneous	Utilities	Parker Water and Sanitation District, Xcel Energy and CORE will continue to provide utility service to the development.	☒ Consistent ☐ Inconsistent ☐ N/A
Staff Analysis	Staff has determined that the proposed use meets the intent and purpose of the Central Commercial Character Area and will serve the needs of the community by providing additional automotive services to residents.		

VI. ACCESS, CIRCULATION & TRAFFIC ANALYSIS

This property has vehicular access from Ponderosa Drive. There are no proposed changes to the existing vehicular access or traffic circulation.

VII. APPROVAL CRITERIA REZONING

Title 13.04.200.b. Criteria for approval for Uses Permitted by Special Review:

1. Will be in harmony and compatible with the character of the surrounding areas and neighborhoods.

Applicant analysis and findings:

The proposed use is a collision center. The property is located in the Parker Auto Plaza. It was designed and built as a vehicle repair facility. The neighbor to the south is a vehicle repair facility. Directly to the west is CarMax. CarMax operates a retail car sales facility that also has a collision center. Further east is Auto Mart USA which operates a retail car sales facility with an automotive repair facility. There is a Charter school to the north of the property, but the building has been designed to be compatible with that use. Immediately to the east of the Charter School, a vehicle repair facility is under construction by McDonald Audi.

Staff analysis and findings:

The auto repair facility will occupy the existing building. Approximately 503 feet to the north of the project site is the Global Village Academy. There are no proposed additions or changes to the north of the existing building other than additional screening for rooftop mechanical equipment. To the south and east of the project site are compatible auto related uses; CarMax and Parker Four Wheel Drive & Auto Repair. To the west the project is buffered by a detention pond and open space by approximately 1,150 feet.

The requested Use by Special Review is for a proposed collision repair center. The facility will be used principally to recondition cars for sale by local car dealers. The focus will be on lightly damaged vehicles that can be quickly repaired, painted, detailed, and sent to the dealer for sale. The shop will employ four body technicians, two painters, two body/paint helpers, a detailer, a manager, an estimator and one office manager. The goal is to move cars out of the shop within one week of arrival. No long-term storage of vehicles is intended. The painting portion of the facility will consist of a double paint

booth and a mixing room. The paint booths will be located on the north end of the building. It is intended that vehicles will enter through the south roll up doors and progress through the various workstations. The last stop will be the paint booths. They will exit through the north doors when paint work is complete. All painting will be contained within the paint booths. No painting will be performed in other areas of the building or property. The paint booth is a new, state of the art unit compliant with all applicable regulations. It will be properly vented to provide a safe environment for employees and to prevent escape of by-products. The southern portion of the parking lot will be screened from view with a newly proposed screening wall which is submitted as part of the Site Plan Application. With the exception of the screening wall, all construction will be inside or on top of the building. The screening of the roof vents is detailed on the site plan submitted with this site plan amendment application.

Staff finds that the use of the subject property can be determined as “in harmony and compatible with the character of the surrounding areas” based upon the use being located within an existing building, proposed screening, and consistency with the intent and purpose of the PD. Therefore, staff has determined that, subject to conditions, this criterion can be satisfied.

2. Will be consistent with the Town Master Plan.

Applicant analysis and findings:

The area was developed as an Automotive Plaza. The Master Plan allows for automotive uses in the area.

Staff analysis and findings:

The Master Plan identifies the property in the Central Commercial Character Area. This Character Area should focus on core retail, services, offices, lodging, restaurants, entertainment and, to a lesser extent, higher density residential uses as part of a development with a mix of uses and a design that focuses on vehicular and pedestrian connectivity between uses. Vertical mixed use is highly encouraged where appropriate.

The proposed auto repair facility is a commercial service and is similar in character and compatibility with the surrounding land uses. See Section IV. above for a complete analysis of compliance with the Parker 2035 Master Plan

Therefore, staff has determined that this criterion can be satisfied.

3. Will not result in an over-intensive use of land.

Applicant analysis and findings:

The land was developed for use as an Automotive Repair Facility. There is sufficient area for parking and traffic circulation and plenty of buffering space between the development and its neighbors.

Staff analysis and findings:

The use will occupy an existing structure and improvements associated with the change in use will be processed as a Site Plan. Changes proposed for the exterior include a screening wall in the southerly parking lot and additional screening for the roof HVAC

equipment. The proposed use will not reduce the amount of landscaping or parking on site. Therefore, the proposed use will not result in an over-intensive use of land.

Therefore, staff has determined that this criterion can be satisfied.

4. Will not have a material adverse effect on community capital improvement programs.

Applicant analysis and findings:

There should be no effect on community capital improvement programs. All existing infrastructure is sufficient for the use and there will be 5-10 employees and 5-10 customer visits per day. Minimal traffic impact.

Staff analysis and findings:

This use will not adversely affect capital improvement programs as the use will not require additional road, utility, or stormwater improvements

Therefore, staff has determined that this criterion can be satisfied.

5. Will not require a level of community facilities and services greater than that which is available.

Applicant analysis and findings:

The project does not propose any expansion and proposed interior changes and the allowance of the use will not have an effect or a greater level of the community facilities and or municipal services beyond that which the Town of Parker currently provides.

Staff analysis and findings:

The proposed use, in an existing building, is in an area planned and designated for commercial auto related services. This use is not anticipated to generate demand for additional municipal services (police, street maintenance, drainage facility maintenance, etc.) or facilities (parks, recreation center usage, etc.) beyond which the Town currently provides. Therefore, the proposed use will not require a level of community facilities and services greater than presently available to serve the site.

Therefore, staff has determined that this criterion can be satisfied.

6. Will not result in undue traffic congestion or traffic hazards.

Applicant analysis and findings:

Minimal traffic impact. There will be 5-10 employees and 5-10 customer visits per day.

Staff analysis and findings:

This property has vehicular access from Ponderosa Drive which has access from Lincoln Avenue, and Twenty Mile Road. The shop will employ four body technicians, two painters, two body/paint helpers, a detailer, a manager, an estimator and one office manager. Forty-eight parking spaces are provided onsite which is consistent with Town Code requirements and the screened area can accommodate approximately 27 vehicles.

The proposed use is not anticipated to generate significant traffic volumes or lead to congestion which might result in undue traffic hazards.

Therefore, staff has determined that this criterion can be satisfied.

7. Will not cause significant air, water, or noise pollution.

Applicant analysis and findings:

We are using state of the art equipment which meets or exceeds all local, state, and federal standards and regulations.

Staff analysis and findings: The property is located within the Commercial zone of the Parker Auto Plaza PD. The project applicant will be occupying an existing structure and has proposed new equipment for the paint booth. The project will be required to comply with all State and Federal regulations relating to air quality. Anticipated noise levels should not exceed that produced by similar uses in the immediate vicinity and will be required to comply with the Town of Parker noise ordinance. The proposed use will not cause significant air, water, or noise pollution.

Therefore, staff has determined that, subject to conditions, this criterion can be satisfied.

8. Will be adequately landscaped, buffered and screened.

Applicant analysis and findings:

Landscaping was approved by the Town and installed in 2018 when the building was constructed. We have designed the Site plan to include a masonry wall to screen vehicles awaiting repair. The ventilation system will be mounted on the roof and will be screened per code.

Staff analysis and findings:

Existing landscaping surrounding the building was reviewed through previous Site Plan approvals. The proposed use will take place within the existing building and all existing landscaping will be preserved and inspected for Site Plan compliance. The applicant's proposal does not negatively impact the existing landscaping.

Therefore, staff has determined that this criterion can be satisfied.

9. Will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of the Town.

Applicant analysis and findings:

We plan to be a good neighbor and add value to the community. The owners live in Parker and have other businesses here. We raise our families here too.

Staff analysis and findings:

The applicant will work to ensure the proposed use will not be detrimental to the health, safety, or welfare of present or future inhabitants of the Town. The site is served by water and sanitary sewer, the facility will have water and wastewater will be properly treated.

Therefore, staff has determined that, subject to conditions, this criterion can be satisfied.

VIII. SUMMARY REFERRAL AGENCY COMMENTS AND CONDITIONS

Agency	Comments
Parker Comprehensive Planning	This UbSR land application follows the 2021 approval of a PD Amendment to add a definition for Automotive Repair - Major to the Parker Auto Plaza PD. The proposed collision/auto body repair and painting is a consistent use within the PD and appears to be in compliance with the Parker 2035 Master Plan's General Land Use Plan 'Central Commercial Character Area'.
Building	Approved
Fire Life Safety	No comment
PSCO	Approved
IREA	Approved
PWSD	Approved
CenturyLink	Advisory Comments
Comcast	No comment

IX. CONCLUSION

The applicant is requesting a Use by Special Review for Major Automotive Repair for a collision repair facility within the Parker Auto Plaza. The proposed collision repair facility is consistent with existing and permitted uses within the Parker Auto Plaza while expanding services to the community and increasing economic viability for the local business owner. The application has been determined to meet the zoning approval criteria of the Parker Land Development Ordinance.

Based on the analysis contained in this staff report, staff recommends that Planning Commission recommends Town Council approve the Use by Special Review request subject to conditions.

X. RECOMMENDED CONDITIONS

Staff recommends that the Planning Commission recommend that the Town Council approve the Parker Auto Plaza F2 AMD 3 L1B B2 - Auto Body Shop Use by Special Review request to allow a paint booth in an existing auto body shop subject to the ten (10) conditions contained in staff's report:

1. A Site Plan approval shall be required prior to the issuance of building permits.
2. All mechanical equipment shall be screened from public view.
3. All signage for this site and building will be required to meet the Town of Parker Sign Code Chapter 13.09 and will require a separate sign permit application submittal.

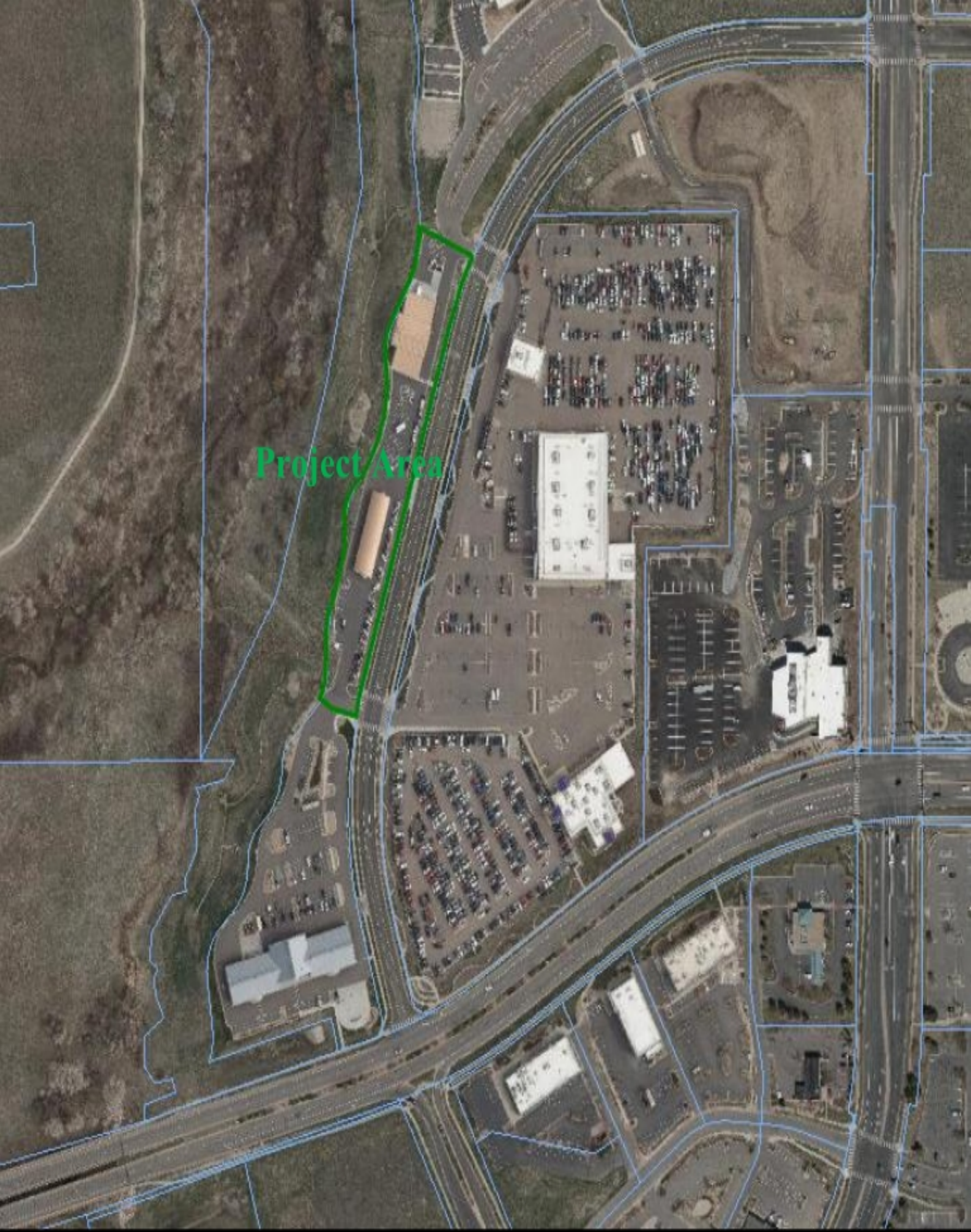
4. A building permit shall be required for any interior or exterior work completed on site.
5. Damaged cars shall be stored/parked within an area screened from public view by a solid fence.
6. Auto body repair work shall be limited to the inside of the building and shall not occur outside.
7. Decorative lighting on building and canopy shall be shielded or removed.
8. Operations will comply with all applicable state and federal hazardous material and air and water quality standards.
9. Landscaping shall be alive and in compliance with the approved site plan.
10. This approval shall expire twelve (12) months after the date of approval unless a building permit has been applied for and a Site Plan Amendment for site improvements has been approved. The Community Development Director, upon written request, may grant a ninety-(90) day extension.

XI. ATTACHMENTS

1. Vicinity Map
2. Applicant's Project Narrative
3. Applicant's 9 Zoning Criteria
4. Site Plan submittals

Report Approved By: Bryce Matthews, Planning Manager

Project Area



2. Please provide a thorough description of the kind of work that will be done on site and the number of paint booths...etc. in a word document at time of next submittal.

The proposed use will be as a collision repair center. The facility will be used principally to recondition cars for sale by local car dealers. The focus will be on lightly damaged vehicles that can be quickly repaired, painted, detailed and sent to the dealer for sale. When the shop is in full swing, it will employ 4 body techs, 2 painters, 2 body/paint helpers, a detailer, a manager, an estimator and 1 office manager. The goal is to move cars out of the shop within one week of arrival. No long term storage of vehicles is intended.

The shop, when completed, will have 6 workstations for disassembly, repair and reassembly. One area will be reserved for estimation and quality control and one bay will be used for detail. The painting portion of the facility will consist of a double paint booth and a mixing room. The paint booths will be located on the North end of the building. It is intended that vehicles will enter through the South roll up doors and progress through the various workstations. The last stop will be the paint booths. They will exit through the North doors when paint work is complete. All painting will be contained within the paint booths. No painting will be performed in other areas of the building or property. The paint booth is a new, state of the art unit compliant with all applicable regulations. It will be properly vented to provide a safe environment for employees and to prevent escape of by-products.

The screened area can accommodate approximately 26 vehicles. There is a covered parking area just north of the screened area to temporarily park vehicles that have been completed and are awaiting delivery to clients. Between the covered parking area and the building is an open lot with 14 spaces to accommodate customer and employee parking. An additional 5 spaces are available to the north of the building.

With the exception of the screening wall, all construction will be inside or on top of the building. Installation of the paint booths will require some electrical, concrete and HVAC work inside the building. Detail will be provided by the installation contractors in connection to the building permit application. The screening of the roof vents is detailed on the site plan submitted with this site plan amendment application.

(b) Criteria for approval. The Town Council may approve a use by special review subject to reasonable conditions which include, but are not limited to, the requirements that the proposed use:

(1) Will be in harmony and compatible with the character of the surrounding areas and neighborhood; **The Proposed use is a collision center. The property is located in the Parker Auto Plaza. It was designed and built as a vehicle repair facility. The neighbor to the South is a vehicle repair facility. Directly to the West is CarMax. CarMax operates a retail car sales facility that also has a collision center. Further west is Auto Mart USA which operates a retail car sales facility with an automotive repair facility. There is a Charter school to the North of the property but the building has been designed to be compatible with that use.**

(2) Will be consistent with the Town Master Plan; **The area was developed as an Automotive Plaza. The Master Plan allows for automotive uses in the area.**

(3) Will not result in an over-intensive use of land; **The land was developed for use as an Automotive Repair Facility. There is sufficient area for parking and traffic circulation and plenty of space between the development and its neighbors.**

(4) Will not have a material adverse effect on community capital improvement programs; **There should be no effect on community capital improvement programs. All existing infrastructure is sufficient for the use and there will be 5-10 employees and 5-10 customer visits per day. Minimal traffic impact.**

(5) Will not require a level of community facilities and services greater than that which is available; **None.**

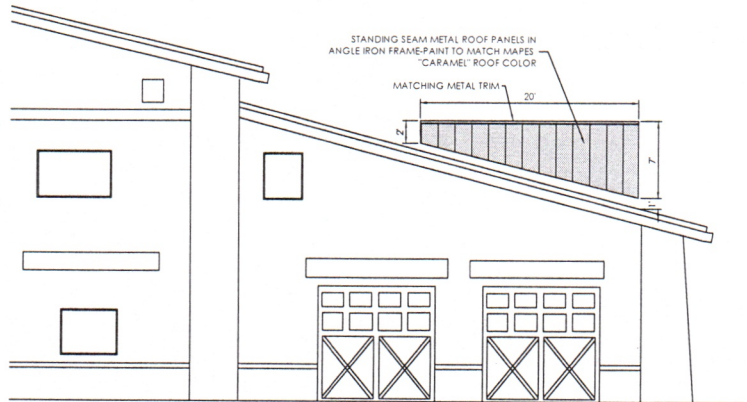
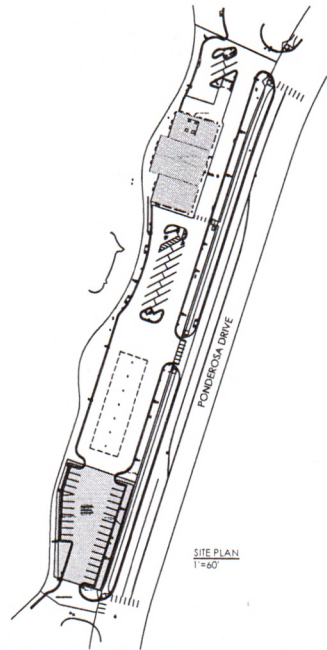
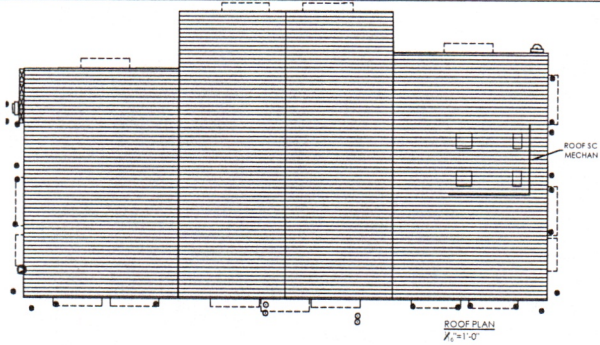
(6) Will not result in undue traffic congestion or traffic hazards; **. Minimal traffic impact. There will be 5-10 employees and 5-10 customer visits per day.**

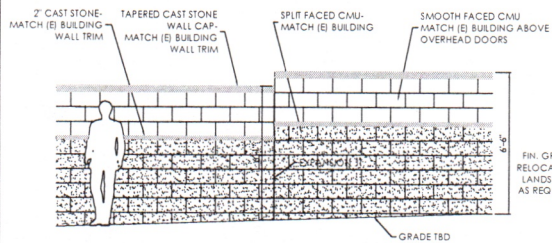
(7) Will not cause significant air, water or noise pollution; **No, we are using state of the art equipment which meets or exceeds all local, state and federal standards and regulations**

(8) Will be adequately landscaped, buffered and screened; **Landscaping was approved by the Town and installed in 2018 when the building was constructed. We have designed the Site plan to include a masonry wall to screen vehicles awaiting repair. The ventilation system will be mounted on the roof and will be screen per code.**

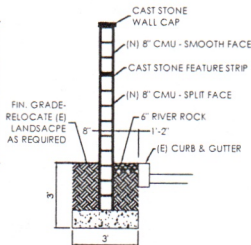
(9) Will not otherwise be detrimental to the health, safety or welfare of the present or future inhabitants of the Town. **We plan to be a good neighbor and add value to the community. The owners live in Parker and have other businesses here. We raise our families here too.**

The uses described in [Section 13.04.205](#) below shall be subject to the criteria contained in that Section.

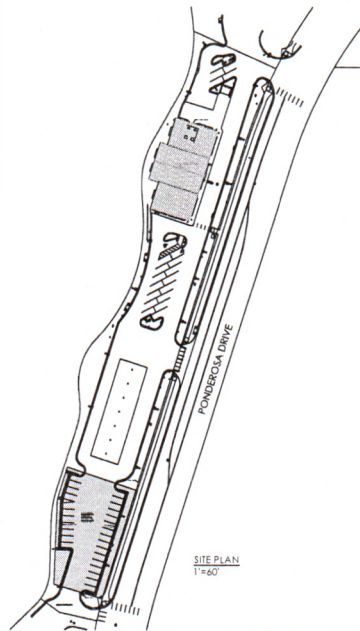




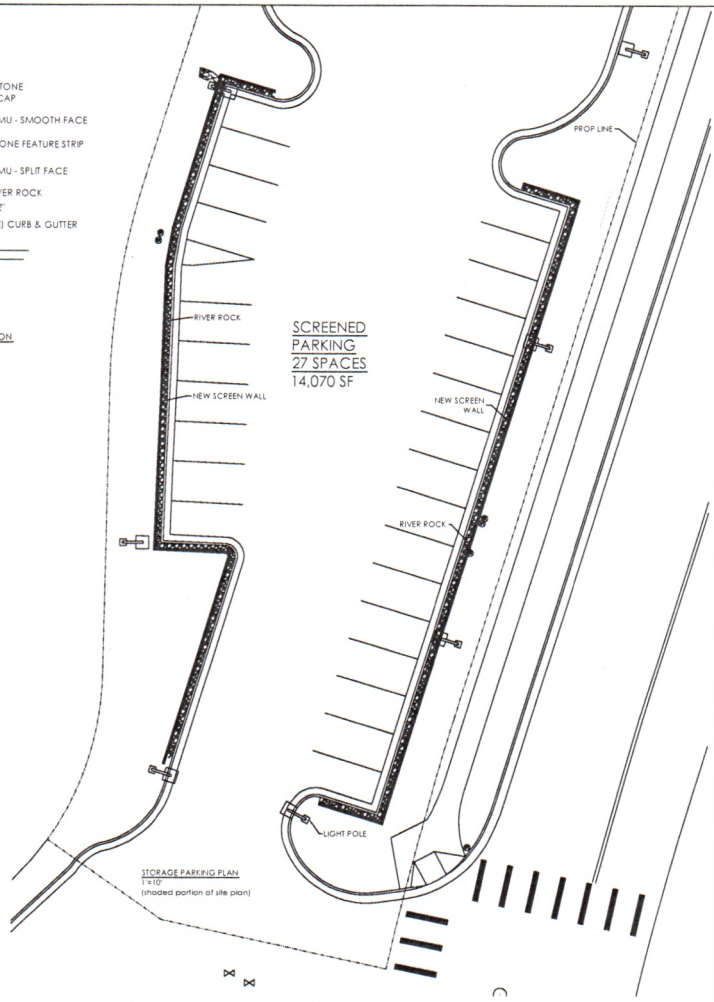
NEW SCREEN WALL ELEVATION
 $\frac{1}{2}'' = 1'-0''$



NEW SCREEN WALL SECTION
 $\frac{1}{2}'' = 1'-0''$



SITE PLAN
 $1'' = 60'$



SCREENED PARKING
 27 SPACES
 14,070 SF

SCREENED PARKING PLAN
 $\frac{1}{2}'' = 1'-0''$
 (shaded portion of site plan)

COLOR OF SMOOTH
AND SPLIT-FACE
CMU



COLOR OF
TRIM

WALL COLOR SAMPLE
(PICTURE OF EXISTING BLDG)

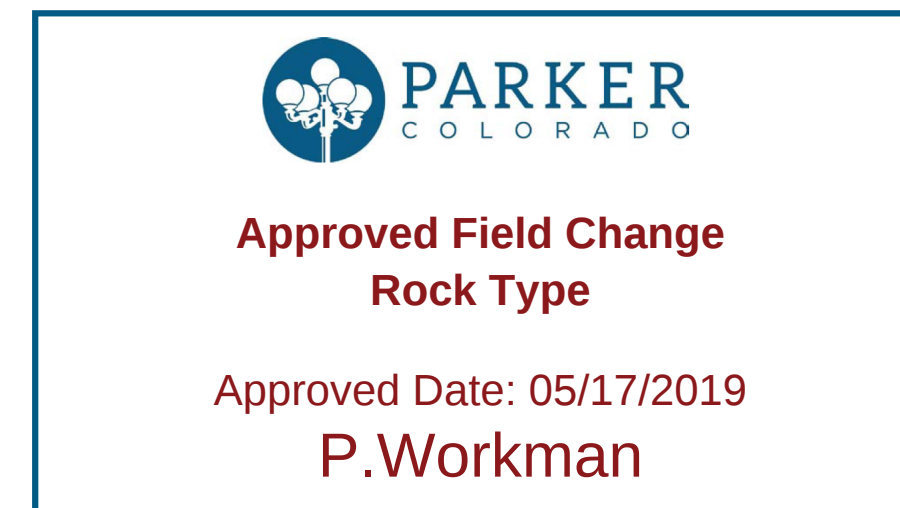


← COLOR OF
EQUIP
SCREEN

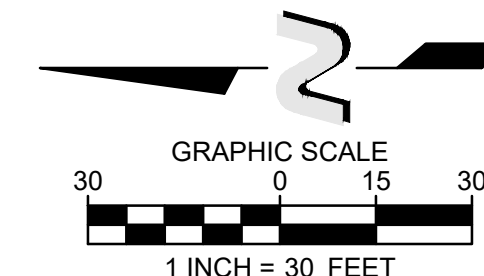
ROOF COLOR SAMPLE
(PICTURE OF (E) BLDG ROOF)

SITE PLAN - PARKER AUTOMOTIVE PH. II

LOT 1B, BLOCK 2, PARKER AUTO PLAZA FILING NO. 2, 3 RD AMENDMENT
LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 9,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6th P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND	
	DECIDUOUS TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	LANDSCAPE EDGE
	ROCK MULCH
	BLUE GRAMA
	BLUE GRAMA OFFSITE
	NATIVE SEED MIX



SITE DESIGN CRITERIA

TOTAL SITE AREA: 84,625.35 S.F. (1.94 ACRES)

LANDSCAPE AREA:

REQUIRED: MINIMUM 15% OF DEVELOPED AREA SHALL BE ALLOCATED FOR LANDSCAPING
84,625 X 15% = 12,694 S.F.
PROVIDED: 20,208 S.F. (24%)

REQUIRED: PROVIDE (1) TREE AND (5) SHRUBS PER 1,500 S.F. OF LOT AREA NOT COVERED
BY A BUILDING OR REQUIRED PARKING (25% - 50% EVERGREEN TREES REQ.)
20,315 S.F. / 1,500 = 13.5 TREES
13.5 X 5 = 68 SHRUBS

PROVIDED: (46) TREES (36% EVERGREEN)
(341) SHRUBS

STREETSCAPE:

REQUIRED: (1) TREE PER 40 L.F. OF STREET FRONTAGE
PONDEROSA DR: 755 L.F. / 40 = 18.88 TREES

PROVIDED: PONDEROSA DR: (19) TREES

PARKING LOT PERIMETER:

REQUIRED: 10' WIDE BUFFER ADJACENT TO A PUBLIC ROADWAY
8' WIDE BUFFER ADJACENT TO SITE WITH SIMILAR USE

PROVIDED: 10' WIDE BUFFER ADJACENT TO A PUBLIC ROADWAY
8' WIDE BUFFER ADJACENT TO COMMERCIAL DEVELOPMENT

PARKING LOT INTERIOR:

REQUIRED: MINIMUM 10% OF AREA COVERED BY THE PARKING LOT SHALL BE ALLOCATED
TO LANDSCAPE ISLANDS
38,962 S.F. X 10% = 3,896 S.F.

PROVIDED: N/A, PER SECTION 13.06.070(o)(2)a.1

REQUIRED: (1) TREE AND (5) SHRUBS PER EACH INCREMENTAL 165 S.F. PARKING LOT ISLAND
FOR EACH INCREMENTAL 15 S.F., AN ADDITIONAL (1) SHRUB SHALL BE PLANTED

PROVIDED: (1) TREE AND (5) SHRUBS PER EACH INCREMENTAL 165 S.F. PARKING LOT ISLAND
FOR EACH INCREMENTAL 15 S.F., AN ADDITIONAL (1) SHRUB IS PLANTED

SITE PERIMETER:

REQUIRED: (1) TREE AND (5) SHRUBS PER 40 L.F. OF EDGE
(40% - 60% EVERGREEN TREES REQUIRED)

WEST EDGE: 812 L.F. / 40 = 20 TREES AND 100 SHRUBS
EAST EDGE: 755 L.F. / 40 = 19 TREES AND 94 SHRUBS

PROVIDED: WEST EDGE: (20) TREES AND (135) SHRUBS (60% EVERGREEN TREES)
EAST EDGE: (19) TREES AND (178) SHRUBS (47% EVERGREEN TREES)

TREE MITIGATION

REQUIRED: PROVIDE MITIGATION FOR TWO PLAINS COTTONWOOD (*Populus sargentii*)
TREE 1 = 30' @ \$5,264; TREE 2 = 26' @ \$3,348; TOTAL = \$8,612
TREE 3 WILL BE SAVED

PROVIDED: OWNER WILL PAY CASH-IN-LIEU
TOTAL = \$8,612

PLANT LEGEND

SYM	BOTANICAL NAME	COMMON NAME	QUAN	SIZE	REMARKS
SHADE TREES					
BO	Quercus macrocarpa	Bur Oak	3	2.5" Cal. min.	B&B, single stem, full head
EO	Quercus robur	English Oak	3	2.5" Cal. min.	B&B, single stem, full head
IL	Gleditsia triacanthos nervis 'Impcoke'	Imperial Locust	12	2.5" Cal. min.	B&B, single stem, full head
KC	Gymnocladus dioicus	Kentucky Coffeetree	4	2.5" Cal. min.	B&B, single stem, full head
TOTAL SHADE TREES:			22		
ORNAMENTAL TREES					
PK	Prunus nigra 'Princess Kay'	Princess Kay Plum	4	1.5" Cal. min.	B&B, single stem, full head
TOTAL ORNAMENTAL TREES:			4		
EVERGREEN TREES					
AP	Pinus nigra	Austrian Pine	4	6-8' ht. min.	B&B, full & bushy
CB	Pinus flexilis 'Cesarini Blue'	Cesarini Blue Limber Pine	13	6-8' ht. min.	B&B, full & bushy
PP	Pinus edulis	Pinyon Pine	4	6-8' ht. min.	B&B, full & bushy
TOTAL EVERGREEN TREES:			21		
DECIDUOUS SHRUBS					
MV	Viburnum lantana 'Molican'	Mohican Viburnum	7	5 gal.	Container
BM	Caryopteris x clandonensis 'Blue Mist'	Blue Mist Spirea	39	5 gal.	Container
PB	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	81	5 gal.	Container
TOTAL DECIDUOUS SHRUBS:			127	X 2 SF = 254 SF LIVING MATERIAL	
EVERGREEN SHRUBS					
MP	Pinus mugo mughus	Mugo Pine	69	5 gal.	Container
BH	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Juniper	56	5 gal.	Container
HJ	Juniperus chinensis 'Holbert'	Holbert Juniper	0	5 gal.	Container
TOTAL EVERGREEN SHRUBS:			125	X 2 SF = 250 SF LIVING MATERIAL	
GRASSES AND PERENNIALS					
FG	Pennisetum alopecuroides 'Hamel'	Hardy Fountain Grass	90	5 gal.	Container
LB	Schizachyrium scoparium	Little Bluestem	26	5 gal.	Container
SS	Bouteloua gracilis	Blue Grama	1,557 SF	(8%) LIVING MATERIAL	
NSM	NATIVE SEED MIX		13,855 SF	(67%) LIVING MATERIAL	
RM	ROCK MULCH		4,806 SF	(23%) NON-LIVING MATERIAL	
			20,722 SF LIVING MATERIAL 75% LANDSCAPE AREA		

PLAN NOTES

IRRIGATION

- ALL SHRUBS, TREES AND TURF SHALL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. THE CONTROLLER SHALL BE MULTI-STATION, FULLY PROGRAMMABLE CLOCK WITH AN AUTOMATIC RAIN SENSOR SHUT OFF AND VARIABLE START TIMES. TURF TO BE WATERED WITH SPRAY HEADS AND PLANTS IN BEDS TO BE WATERED WITH LOW-GALLONAGE EMITTERS.
- TURF SHALL BE WATERED WITH ROTOR & SPRAY HEADS; SHRUBS & ORNAMENTAL GRASSES WILL BE WATERED WITH LOW-GALLONAGE EMITTERS.
- AN IRRIGATION PLAN SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION.

TOPSOIL AND SOIL PREPARATION

- PRIOR TO SITE GRADING, THE TOP 4 OF 6" OF EXISTING GRADE WILL BE STOCKPILED FOR REFUSE AS TOPSOIL. AMENDMENTS TO THIS MATERIAL SHALL BE BASED ON THE RESULTS OF THE PENDING SOILS ANALYSIS.
- AT MINIMUM, LANDSCAPE AREAS SHALL RECEIVE 4 C.Y. OF COMPOSTED ORGANIC AMENDMENT PER 1,000SF OF TOPSOIL. THE AMENDMENT SHALL BE THOROUGHLY MIXED WITH THE STOCKPILED EXISTING SOIL AND PLACED FOR THE TOP 6" OF SUBGRADE IN ALL LANDSCAPED AREAS AND TILLED A MIN. OF 6" INTO THE EXISTING SUBSOIL.
- SITE GRADING DESIGN HAS BEEN COMPLETED BY THE CIVIL. REFER TO GRADING / ENGINEERING DRAWINGS FOR PERTINENT INFORMATION. LANDSCAPE CONTRACTOR SHALL FINE GRADE LANDSCAPE AREAS +/- 1" AND ENSURE POSITIVE DRAINAGE (2% MIN.) AWAY FROM ALL BUILDINGS, FOUNDATIONS AND STRUCTURES.

MULCH & COBBLE

- PLANTING BEDS AS INDICATED ON THE DRAWINGS SHALL BE MULCHED WITH 1-1/2" DIAMETER, 4" DEPTH CRUSHED GRANITE. ~~PERMANENTLY~~ ORNAMENTAL GRASSES & PERENNIALS SHALL BE MULCHED WITH 4" DEPTH "CASCADE" MULCH.
- COBBLE SHALL BE 4 - 6" NATURAL TAN-BROWN-GRAY COLOR RIVER COBBLE OVER GEO-TEXTILE FABRIC. SEE ENG. DETAIL. SUBMIT FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.

MISCELLANEOUS

- UTILITY EASEMENTS SHALL REMAIN UNOBSSTRUCTED & FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH.
- SOD TO BE RTF FESCUE.

MAINTENANCE

- SITE MAINTENANCE FOR THE INTERNAL SITE AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER'S MAINTENANCE RESPONSIBILITIES SHALL INCLUDE:
 - LANDSCAPE MAINTENANCE
 - TRASH REMOVAL
 - SNOW REMOVAL IN THE PRIVATE DRIVES, PARKING LOT AND SIDEWALKS
 - MAINTENANCE OF ASPHALT AND CONCRETE PAVEMENTS

*** "NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITH OUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING." PARKER MUNICIPAL CODE SECTION 13.06.030(c)(5)g

Douglas County Permanent Drill Seed Mix

SPECIES	VARIETY	% OF MIX	PLS/ACRE
Big Blue	Kaw	10%	1.1
Yellow Indiangrass	Cheyenne	10%	1.0
Switchgrass	Blackwell	10%	0.4
Sideoats Grama	Vaughn	10%	0.9
Western wheatgrass	Arriba	10%	1.6
Blue Grama	Hachita	10%	0.3
Thickspike Wheatgrass	Critana	10%	1.0
Prairie Sandreed	Goshen	10%	0.7
Green Needlegrass	Lodorm	10%	1.0
Slender Wheatgrass	Pryor	5%	0.6
Streambank Wheatgrass	Sodar	5%	0.6

APPLY AT A RATE OF 9.2 LBS. PER ACRE DRILLED



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LANDSCAPE PLAN

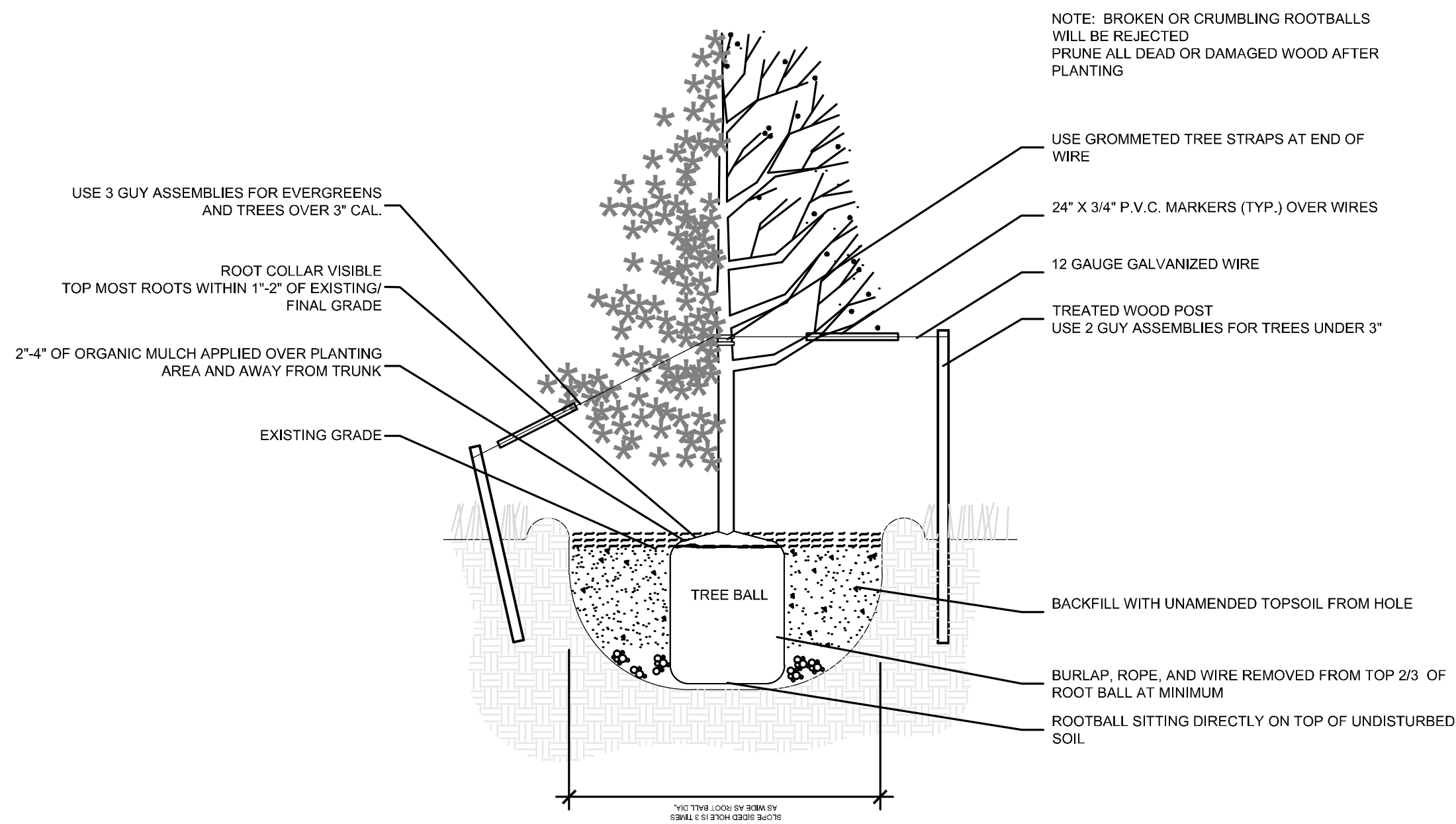
PARKER AUTOMOTIVE PH. II
LOT 1B, BLOCK 2, PARKER AUTO PLAZA
FILING NO. 2, 3RD AMENDMENT

JULY 24, 2017

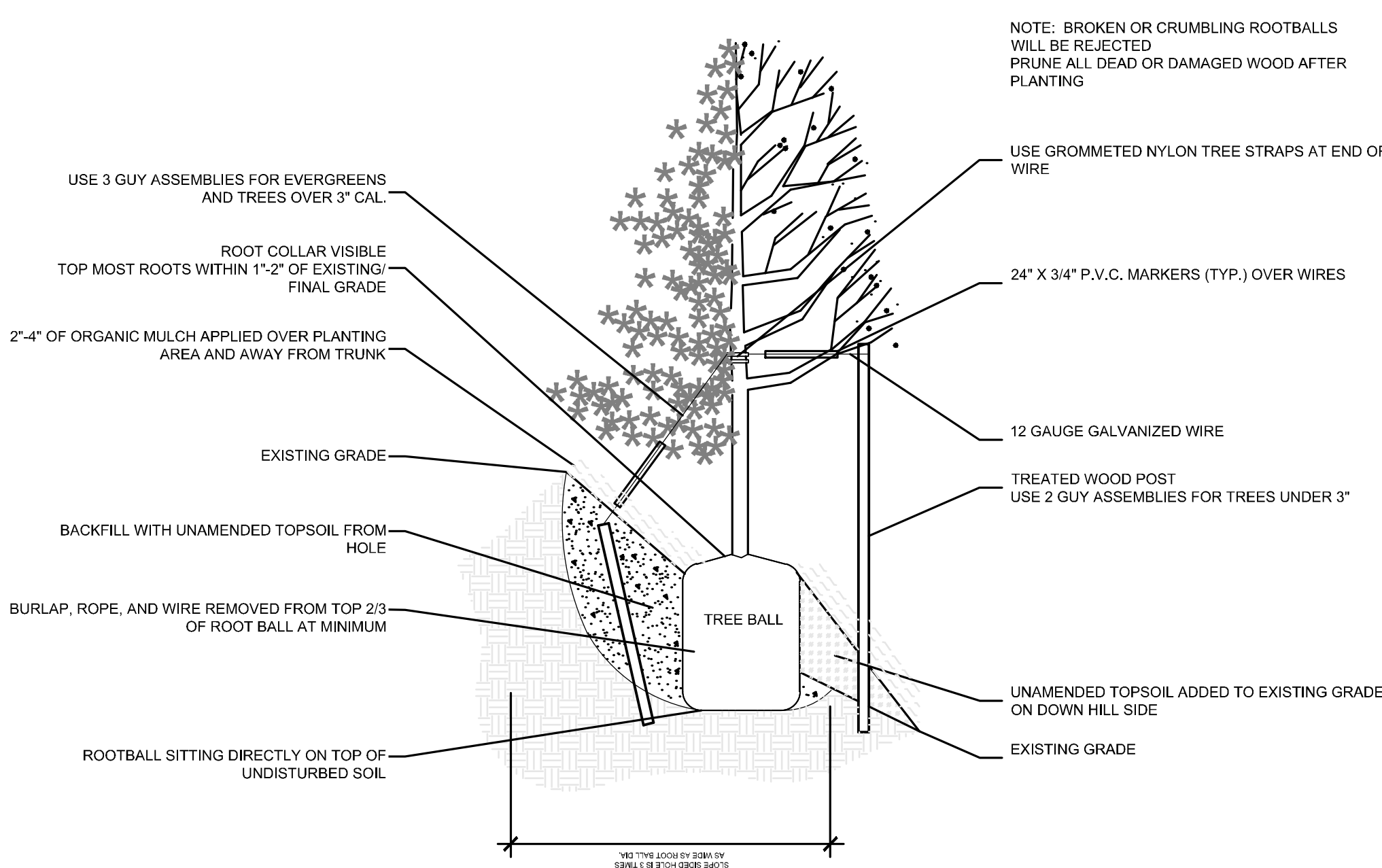
SHEET 5 OF 8

SITE PLAN - PARKER AUTOMOTIVE PH. II

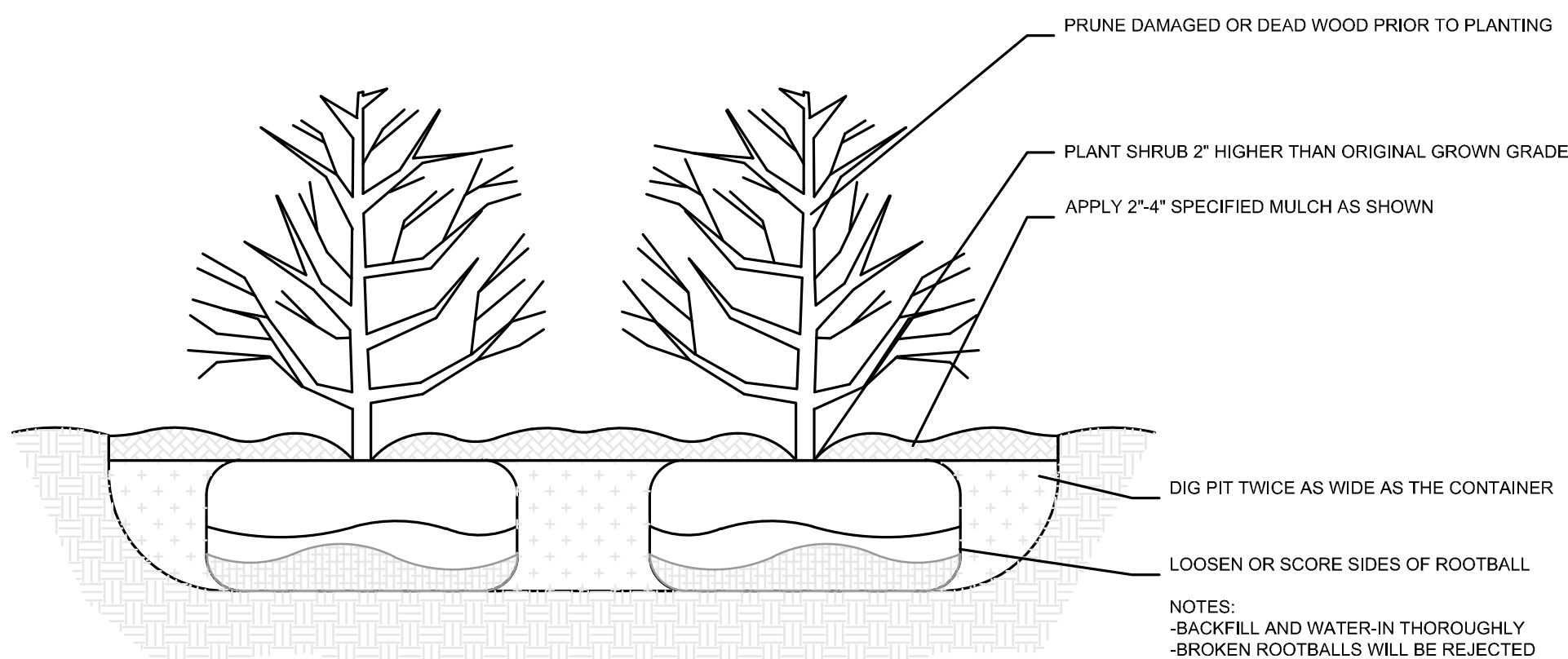
LOT 1B, BLOCK 2, PARKER AUTO PLAZA FILING NO. 2, 3 RD AMENDMENT
LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 9,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6th P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



TOWN OF PARKER TREE PLANTING DETAIL
N.T.S.



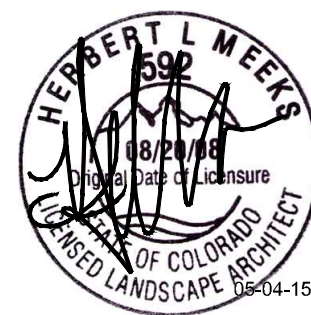
TOWN OF PARKER TREE PLANTING DETAIL - SLOPES
N.T.S.



TOWN OF PARKER PLANTING DETAIL - SHRUBS
N.T.S.

- NOTES:
1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL. TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE TOPSOIL. NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
 2. TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
 3. WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
 4. FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
 5. STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
 6. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.
 7. RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

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LANDSCAPE DETAILS
PARKER AUTOMOTIVE PH. II
LOT 1B, BLOCK 2, PARKER AUTO PLAZA
FILING NO. 2, 3RD AMENDMENT
JULY 24, 2017
SHEET 6 OF 8

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